



**CITY COUNCIL
MEETING AGENDA**

**January 18, 2022
6:00 PM**

Location: City Council Chambers, 408 N. Spokane Street, Post Falls, ID 83854

REGULAR MEETING – 6:00 pm City Council Chambers

CALL TO ORDER BY MAYOR JACOBSON

PLEDGE OF ALLEGIANCE

ROLL CALL OF CITY COUNCIL MEMBERS

Kerri Thoreson, Nathan Ziegler, Joe Malloy, Josh Walker, Lynn Borders, Kenny Shove

CEREMONIES, ANNOUNCEMENTS, APPOINTMENTS, PRESENTATION:

AMENDMENTS TO THE AGENDA

Final action cannot be taken on an item added to the agenda after the start of the meeting unless an emergency is declared that requires action at the meeting. The declaration and justification must be approved by motion of the Council.

DECLARATION OF CONFLICT, EX-PARTE CONTACTS AND SITE VISITS

The Mayor and members of the City Council have a duty to serve honestly and in the public interest. Where the Mayor or a member of the City Council have a conflict of interest, they may need to disclose the conflict and in certain circumstances, including land use decisions, they cannot participate in the decision-making process. Similarly, ex-parte contacts and site visits in most land use decisions must also be disclosed.

1. CONSENT CALENDAR

The consent calendar includes items which require formal Council action, but which are typically routine or not of great controversy. Individual Council members may ask that any specific item be removed from the consent calendar in order that it be discussed in greater detail. Explanatory information is included in the Council agenda packet regarding these items and any contingencies are part of the approval.

ACTION ITEMS:

- a. Minutes – January 4, 2022 City Council Meeting
- b. Payables – December 28, 2021 – January 10, 2022
- c. Foxtail 7th Addition Subdivision Construction Improvement Agreement
- d. Frontage Improvement Waiver Request – 1206 N William Street
- e. Millworx Site Plan Master Development Agreement

2. PUBLIC HEARINGS

There are generally two types of public hearings. In a legislative hearing, such as adopting an ordinance amending the zoning code or Comprehensive Plan amendments, the Mayor and City Council may consider any input provided by the public. In quasi-judicial hearings, such as subdivisions, special use permits and zone change requests, the Mayor and City Council must follow procedures similar to those used in court to ensure the fairness of the hearing. Additionally, the

Mayor and City Council can only consider testimony that relates to the adopted approval criteria for each matter. Residents or visitors wishing to testify upon an item before the Council must sign up in advance and provide enough information to allow the Clerk to properly record their testimony in the official record of the City Council. Hearing procedures call for submission of information from City staff, then presentation by the applicant (15 min.), followed by public testimony (4 min. each) and finally the applicant's rebuttal testimony (8 min.). Testimony should be addressed to the City Council, only address the relevant approval criteria (in quasi-judicial matters) and not be unduly repetitious.

ACTION ITEMS:

- a. Title 17 Amendment – Lot Line Adjustment TA-0003-2021

3. UNFINISHED BUSINESS/RETURNING ORDINANCES AND RESOLUTIONS

This section of the agenda is to continue consideration of items that have been previously discussed by the City Council and to formally adopt ordinances and resolutions that were previously approved by the Council. Ordinances and resolutions are formal measures considered by the City Council to implement policy which the Council has considered. Resolutions govern internal matters to establish fees and charges pursuant to existing ordinances. Ordinances are laws which govern general public conduct. Certain procedures must be followed in the adoption of both ordinances and resolutions; state law often establishes those requirements.

ACTION ITEMS:

- a. Ordinance – Smock Vacation VACA-0001-2021

4. NEW BUSINESS

This portion of the agenda is for City Council consideration of items that have not been previously discussed by the Council. Ordinances and Resolutions are generally added to a subsequent agenda for adoption under Unfinished Business, however, the Council may consider adoption of an ordinance or resolution under New Business if timely approval is necessary.

ACTION ITEMS:

5. CITIZEN ISSUES

This section of the agenda is reserved for citizens wishing to address the Council regarding City-related issues that are not on the agenda. Persons wishing to speak will have 5 minutes. Comments related to pending public hearings, including decisions that may be appealed to the City Council, are out of order and should be held for the public hearing. Repeated comments regarding the same or similar topics previously addressed are out of order and will not be allowed. Comments regarding performance by city employees are inappropriate at this time and should be directed to the Mayor, either by subsequent appointment or after tonight's meeting, if time permits. In order to ensure adequate public notice, Idaho Law provides that any item, other than emergencies, requiring Council action must be placed on the agenda of an upcoming Council meeting. As such, the City Council can't take action on items raised during citizens issues at the same meeting but may request additional information or that the item be placed on a future agenda.

6. ADMINISTRATIVE / STAFF REPORTS

This portion of the agenda is for City staff members to provide reports and updates to the Mayor and City Council regarding City business as well as responses to public comments. These items are for information only and no final action will be taken.

7. MAYOR AND COUNCIL COMMENTS

This section of the agenda is provided to allow the Mayor and City Councilors to make announcements and general comments relevant to City business and to request that items be added to future agendas for discussion. No final action or in-depth discussion of issues will occur.

8. EXECUTIVE SESSION

Certain City-related matters may need to be discussed confidentially subject to applicable legal requirements; the Council may enter executive session to discuss such matters. The motion to enter into executive session must

reference the specific statutory section that authorizes the executive session. No final decision or action may be taken in executive session.

ACTION ITEM (To enter into executive session only):

- a. **Idaho Code 74-206(1)(f)** – To communicate with legal counsel for the public agency to discuss the legal ramifications of and legal options for pending litigation, or controversies not yet being litigated, but imminently likely to be litigated.
- b. **Idaho Code 74-206(1)(i)**- To engage in communications with a representative of the public agency’s risk manager or insurance provider to discuss the adjustment of a pending claim or prevention of a claim imminently likely to be filed.

RETURN TO REGULAR SESSION

ADJOURNMENT

Questions concerning items appearing on this Agenda or requests for accommodation of special needs to participate in the meeting should be addressed to the Office of the City Clerk, 408 Spokane Street or call 208-773-3511. City Council and City commission meetings are broadcast live on Post Falls City Cable on cable channel 1300 (formerly 97.103) as well as the City’s YouTube Channel (<https://www.youtube.com/c/CityofPostFallsIdaho>).

Mayor Ronald G. Jacobson

Councilors: Kerri Thoreson, Nathan Ziegler, Joe Malloy, Josh Walker, Lynn Borders, Kenny Shove

Mission

The City of Post Falls mission is to provide leadership, support common community values, promote citizen involvement and provide services which ensure a superior quality of life.

Vision

Post Falls, Idaho is a vibrant city with a balance of community and economic vitality that is distinguished by its engaged citizens, diverse businesses, progressive leaders, responsible management of fiscal and environmental resources, superior service, and a full range of opportunities for education and healthy lifestyles.

“Where opportunities flow and community is a way of life”

Calendar of Meetings & Event

Jan 17		City Business Offices are Closed in Observance of Martin Luther King Jr Day
Jan 18	6:00 pm	<u>City Council</u>
Jan 20	9:00 am	Urban Renewal Agency
Jan 25	6:00 pm	Parks & Recreation Commission
Jan 29		Christmas Tree Pick Up
Feb 1	6:00 pm	<u>City Council</u>
Feb 8	6:00 pm	Planning & Zoning Commission
Feb 14		Valentines Day
Feb 15	5:00 pm	<u>City Council Workshop</u>
Feb 15	6:00 pm	<u>City Council</u>
Feb 17	9:00 am	Urban Renewal Agency
Feb 21		City Business Offices are Closed in Observance of Presidents' Day
Mar 1	6:00 pm	<u>City Council</u>
Mar 8	5:30 pm	Planning & Zoning Commission
Mar 15	5:00 pm	<u>City Council Workshop</u>
Mar 15	6:00 pm	<u>City Council</u>
Mar 17		Saint Patrick's Day
Mar 22	6:00 pm	Parks and Recreation Commission

Post Falls City Council Meeting

January 18, 2022

Council Agenda Memorandum

TO: Mayor Ron Jacobson
Council President Kerri Thoreson
Councilors Josh Walker, Joe Malloy,
Nathan Ziegler, Lynn Borders, Kenny Shove
Legal Counsel Warren Wilson

FROM: Shelly Enderud, City Administrator

CC: Department Heads

1. Consent Calendar

- c. Foxtail 7th Addition Subdivision Construction Improvement Agreement – City Engineer Bill Melvin requests approval of the CIA for the abovenamed subdivision. The agreement sets forth the typical expectations and responsibilities of the City and the developer. If approved, the Mayor shall sign the documents.
- d. Frontage Improvement Waiver Request: 1206 North William Street – City Engineer Bill Melvin recommends approval of the frontage improvement waiver at the abovementioned address. There are no existing improvements in the vicinity. The owner will be required to asphalt/concrete the existing driveway to the street. Upon approval of the consent agenda, the waiver will be approved.
- e. Millworx Site Plan Master Development Agreement – The Planning Division requests approval of the MDA for the abovementioned subdivision. The Site Plan has been approved by all applicable departments as of January 6th, 2022. If approved, the Mayor will sign the agreement.

2. Public Hearings

- a. Title 17 Amendment: Lot Line Adjustment TA-0003-2021 – Opportunity for public comment is given on the proposed amendment to Post Falls Municipal Code 17.04.030. The Planning Division is requesting the amendment in order to prevent the overuse of lot line adjustments made to avoid project related improvements. The Planning and Zoning Commission recommended approval for the proposed amendment at their December 14th, 2021 meeting. After comment and discussion, the Council should either approve or deny the amendment as presented.

3. Unfinished Business

- a. Ordinance: Smock Vacation VACA-0001-2021 – This ordinance formalizes the vacation previously approved by Council at the December 21st, 2021 meeting. It returns to Council today as there was an error in a portion of Section 1 that needed to be corrected. Council may adopt the ordinance or take no action.

4. New Business

8. Executive Session

- a. Idaho Code 74-206(1)(f) – To communicate with legal counsel for the public agency to discuss the legal ramifications of and legal options for pending litigation, or controversies not yet being litigated, but imminently likely to be litigated.
- b. Idaho Code 74-206(1)(i) – To engage in communications with a representative of the public agency’s risk manager or insurance provider to discuss the adjustment of a pending claim or prevention of a claim imminently likely to be filed



**CITY COUNCIL
MEETING MINUTES**

**January 4, 2022
6:00 PM**

Location: City Council Chambers, 408 N. Spokane Street, Post Falls, ID 83854

REGULAR MEETING – 6:00 pm City Council Chambers

CALL TO ORDER BY MAYOR JACOBSON

PLEDGE OF ALLEGIANCE

ROLL CALL OF CITY COUNCIL MEMBERS

Kerri Thoreson, Alan Wolfe, Joe Malloy, Steve Anthony, Lynn Borders, Linda Wilhelm - **Present**

AMENDMENTS TO THE AGENDA

Final action cannot be taken on an item added to the agenda after the start of the meeting unless an emergency is declared that requires action at the meeting. The declaration and justification must be approved by motion of the Council.

None

DECLARATION OF CONFLICT, EX-PARTE CONTACTS AND SITE VISITS

The Mayor and members of the City Council have a duty to serve honestly and in the public interest. Where the Mayor or a member of the City Council have a conflict of interest, they may need to disclose the conflict and in certain circumstances, including land use decisions, they cannot participate in the decision-making process. Similarly, ex-parte contacts and site visits in most land use decisions must also be disclosed.

None

1. CONSENT CALENDAR

The consent calendar includes items which require formal Council action, but which are typically routine or not of great controversy. Individual Council members may ask that any specific item be removed from the consent calendar in order that it be discussed in greater detail. Explanatory information is included in the Council agenda packet regarding these items and any contingencies are part of the approval.

ACTION ITEMS:

- a. Minutes – December 21, 2021 City Council Meeting
- b. Payables – December 14, 2021 – December 27, 2021
- c. Boyd's Landing Subdivision Master Development Agreement, Annexation Agreement, Easement, and Right-of-Way
- d. Disposal of 45 Motorola Radios from the Police Department
- e. Greensferry Glenn Subdivision Master Development Agreement
- f. Post Falls Baptist Church Zone Change Reasoned Decision
- g. Northshore District Subdivision and PUD Request for Reconsideration (**Request for reconsideration was denied**)

Motion by Malloy to approve the Consent Calendar as presented.

Second by Wolfe.

Vote: Wilhelm-Aye, Borders-Aye, Anthony-Aye, Malloy-Aye, Wolfe-Aye, Thoreson-Aye
Motion Carried

2. UNFINISHED BUSINESS/RETURNING ORDINANCES AND RESOLUTIONS

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ACTION ITEMS:

a. Ordinance – Pointe Partners Easement Vacation VACA-0003-2021

Motion by Thoreson to place the proposed Ordinance Pointe Partners Easement Vacation VACA-0003-2021 on its first and only reading by title only while under suspension of the rules.

Second by Malloy.

Vote: Borders-Aye, Anthony-Aye, Malloy-Aye, Wolfe-Aye, Thoreson-Aye, Wilhelm-Aye
Motion Carried

AN ORDINANCE OF THE CITY OF POST FALLS, A MUNICIPAL CORPORATION OF THE STATE OF IDAHO, PROVIDING FOR THE VACATION OF AN EASEMENT LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 1 AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 12, ALL IN TOWNSHIP 50 NORTH, RANGE 6 WEST, B.M., IN THE CITY OF POST FALLS, KOOTENAI COUNTY, IDAHO; AS DESCRIBED HEREIN; PROVIDING FOR DISPOSITION OF THE VACATED EASEMENT; PROVIDING REPEAL OF CONFLICTING ORDINANCES; PROVIDING SEVERABILITY; PROVIDING AN EFFECTIVE DATE; AND PROVIDING FOR OTHER MATTERS PROPERLY RELATING THERETO.

Motion by Thoreson to approve Ordinance Pointe Partners Easement Vacation VACA-0003-2021, and to direct the Clerk to assign the appropriate ordinance number, and that it be published by summary only.

Second by Malloy.

Vote: Anthony-Aye, Malloy-Aye, Wolfe-Aye, Thoreson-Aye, Wilhelm-Aye, Borders-Aye
Motion Carried

b. Ordinance – Boyd Annexation ANNX-0005-2021

Motion by Thoreson to place the proposed Ordinance Boyd Annexation ANNX-0005-2021 on its first and only reading by title only while under suspension of the rules.

Second by Malloy.

Vote: Wolfe-Aye, Thoreson-Aye, Wilhelm-Aye, Borders-Aye, Anthony-Aye, Malloy-Aye
Motion Carried

AN ORDINANCE OF THE CITY OF POST FALLS, A MUNICIPAL CORPORATION OF THE STATE OF IDAHO, ANNEXING PROPERTY CONSISTING OF APPROXIMATELY 12 ACRES CONSISTING OF ALL OF TRACT 42 AND A PORTION OF TRACT 41, BLOCK 25, OF THE POST FALLS IRRIGATED TRACTS, FILED IN BOOK C OF PLATS AT PAGE 78, RECORDS OF KOOTENAI COUNTY, BEING IN THE SOUTHWEST QUARTER OF SECTION 25, T51N, R5W,

BOISE MERIDIAN, KOOTENAI COUNTY AND ZONING THE ANNEXED PROPERTY SINGLE-FAMILY RESIDENTIAL (R-1); PROVIDING FOR AMENDMENT OF THE OFFICIAL ZONING MAP; AND PROVIDING FOR AN EFFECTIVE DATE HEREOF:

Motion by Thoreson to approved Ordinance Boyd Annexation ANNX-0005-2021, and to direct the Clerk to assign the appropriate ordinance number, and that it be published by summary only.

Second by Malloy.

Vote: Wilhelm-Aye, Borders, Anthony-Aye, Malloy-Aye, Wolfe-Aye, Thoreson-Aye

Motion Carried

3. CEREMONIES, ANNOUNCEMENTS, APPOINTMENTS, PRESENTATION:

Mayor: Councilor Wilhelm, Anthony, and Wolfe, thank you so much for the time you have dedicated to the City. It has been my honor to serve, work, and take care of City business with you. I have felt that we have had a City Council second to none. You will be missed. I look forward to working with Mr. Shove, Mr. Walker, and Mr. Ziegler.

- a. Swearing in of Ronald G. Jacobson as Mayor
- b. Swearing in of Kenny Shove, Josh Walker, Nathan Ziegler to the City Council
- c. Election of City Council President **ACTION ITEM**

Motion by Malloy to elect Kerri Thoreson as City Council President.

Second by Ziegler.

Motion by Borders to elect Joe Malloy as City Council President

No Second

Motion dies

Vote on first motion: Shove-Aye, Borders-Aye, Ziegler-Aye, Malloy-Aye, Walker-Aye, Thoreson-Aye

Kerri Thoreson elected as City Council President.

- d. City business officers will be closed on Monday, January 17th in observance of Martin Luther King Jr Day.

4. PUBLIC HEARINGS

There are generally two types of public hearings. In a legislative hearing, such as adopting an ordinance amending the zoning code or Comprehensive Plan amendments, the Mayor and City Council may consider any input provided by the public. In quasi-judicial hearings, such as subdivisions, special use permits and zone change requests, the Mayor and City Council must follow procedures similar to those used in court to ensure the fairness of the hearing. Additionally, the Mayor and City Council can only consider testimony that relates to the adopted approval criteria for each matter. Residents or visitors wishing to testify upon an item before the Council must sign up in advance and provide enough information to allow the Clerk to properly record their testimony in the official record of the City Council. Hearing procedures call for submission of information from City staff, then presentation by the applicant (15 min.), followed by public testimony (4 min. each) and finally the applicant's rebuttal testimony (8 min.). Testimony should be addressed to the City Council, only address the relevant approval criteria (in quasi-judicial matters) and not be unduly repetitious.

ACTION ITEMS:

None

5. NEW BUSINESS

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ACTION ITEMS:

None

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Mike Pelissero: Welcome to the new Council members. Would like the wishes of the citizens to come before the developers. He also did not agree with city business that was done tonight and voted on by the previous council. Thought it should have been voted on by the new council.

7. ADMINISTRATIVE / STAFF REPORTS

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8. MAYOR AND COUNCIL COMMENTS

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Mayor: Welcome to our new Council members. I look forward to working with you. I do ask that if you have a question, please let staff know so they can bring the answer to the Council meeting.

Thoreson: The Police Department took a really bad person off the street today. Please keep in your thoughts and prayers the officers that were involved. They had to see some horrific things in this case.

9. EXECUTIVE SESSION

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ACTION ITEM (To enter into executive session only):

None

ADJOURNMENT 6:13 PM

Ronald G. Jacobson, Mayor

Shannon Howard, City Clerk

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Mayor Ronald G. Jacobson

Councilors: Kerri Thoreson, Nathan Ziegler, Joe Malloy, Josh Walker, Lynn Borders, Kenny Shove

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Post Falls Check Approval



City of Post Falls

Packet: APPKT09183 - 1/19/2022 Check Run
 Vendor Set: 01 - Vendor Set 01

Check Date: 1/11/2022

Vendor Number	Vendor Name	Invoice #	Invoice Description	Account Number	Distribution Amount
Fund: 001 - GENERAL FUND					
Balance Sheet Accounts					
VEN14542	James Wilson				
APMWB	Check	BOND RELEASE - 1	BOND RELEASE - 1795 W. POLO GREEN	001-22115	2,000.00
Balance Sheet Accounts Total:					2,000.00
Dept: 412 Information Systems					
A017	A-Tec, Inc.				
APMWB	Check	3561	Annual License for security system	001-412.0000.66014	522.60
C140	CDW Government Inc.				
APMWB	Check	Q188560	Malwarebytes annual renewal	001-412.0000.62001	1,230.00
				001-412.0000.66014	5,505.00
		P733318	Fortinet renewal kirby FW	001-412.0000.66014	71.72
D070	Dell Marketing LP				
APMWB	Check	10547928640	OptiPlex 5090 Micros	001-412.0000.80010	8,219.30
Dept 412 Total:					15,548.62
Dept: 414 Finance					
A4280	Anderson Bros. CPA's				
APMWB	Check	6102	Audit Process Billing	001-414.0000.62091	13,500.00
B091	BDS				
APMWB	Check	79872	Utility Billing and Plowing newsletter	001-414.1445.62170	4,859.84
				001-414.1445.62190	2,898.13
V040	Office Depot				
APMWB	Check	216747163001	Office Supplies-Finance	001-414.0000.63060	27.30
VEN02035	Staples, Inc				
APMWB	Check	3496654111	Office Supplies-Finance	001-414.0000.63060	45.90
T345	Tyler Technologies				
APMWB	Check	025-360944	CIS/SRM Main, Financial Maint, Document Mg	001-414.0000.66015	13,680.62
Dept 414 Total:					35,011.79
Dept: 415 City Clerk					
C291	Coeur d' Alene Press				
APMWB	Check	502690	Printing of Ordinances 1435	001-415.0000.62000	55.52
		502689	Printing of ordinance 1434	001-415.0000.62000	55.52
		502695	Printing of Ordinances 1436	001-415.0000.62000	132.42
		502687	Printing of ordinance 1433	001-415.0000.62000	75.39
Dept 415 Total:					318.85
Dept: 418 Human Resources					
A1190	A Drug Free Alliance				
APMWB	Check	69758	Prescreening	001-418.4000.72070	100.00
Dept 418 Total:					100.00
Dept: 421 Police					
A236	Alexander Clark Graphics				
APMWB	Check	11298	Patrol Citations	001-421.0000.63290	606.72
A0001	Alsco				
APMWB	Check	LSPO2483158	Shop uniforms	001-421.4000.72000	12.57
C140	CDW Government Inc.				
APMWB	Check	Q263924	Software License	001-421.0000.66014	225.00
C2150	City of Spokane				
APMWB	Check	4044718	Drug Burn	001-421.0000.63920	137.12
C220	Coleman Oil Co				

Vendor Number	Vendor Name	Bank Code	Payment Type	Invoice #	Invoice Description	Account Number	Distribution Amount
		APMWB	Check	CL31080	Animal Safety and patrol fuel	001-421.0000.64030	5,344.08
C4106			CPS				
		APMWB	Check	SOP54211	Application Testing	001-421.0000.64020	753.25
VEN04300			CW Wraps & Marketing, Inc				
		APMWB	Check	14065	Below 100 Mileage decals	001-421.0000.67100	150.00
G020			Galls, An Aramark Company				
		APMWB	Check	019944310	Patrol Jackets	001-421.0000.67020	131.65
				019975935	Patrol jacket - Cox	001-421.0000.67020	131.65
				019936955	Handcuff case - Cox	001-421.0000.67020	68.25
				020071280	Patrol Jumpsuit - Fritz	001-421.4000.72000	635.02
VEN13191			Intermax Networks				
		APMWB	Check	173860	Direct link to Kootenai County	001-421.0000.62040	475.00
K080			Knudtsen Chevrolet and GMAC				
		APMWB	Check	5506143	Switch for PFPD93	001-421.0000.67100	14.95
				5506279	Fluid cap - PFPD100	001-421.0000.67100	21.00
VEN12699			Mike White Ford of Coeur d'Alene				
		APMWB	Check	108833	Assembly Valve - PFPD134	001-421.0000.67100	69.27
N001			Napa Auto Parts				
		APMWB	Check	3688-131147	Credit for battery core returns	001-421.0000.67100	-459.35
				3688-134628	Battery - PFPD91	001-421.0000.67100	311.74
				3688-134430	Credit for returns	001-421.0000.67100	-222.90
				3688-133312	Battery - PFPD108	001-421.0000.67100	129.77
				3688-134489	Battery - PFPD114	001-421.0000.67100	114.72
				3688-131072	Credit for core returns	001-421.0000.67100	-91.00
				3688-134427	Credit for core return	001-421.0000.67100	-36.00
				3688-134984	Fuel Cap Tether - PFPD118	001-421.0000.67100	13.50
				3688-134398	Battery - PFPD114	001-421.0000.67100	114.72
				3688-134397	Battery - PFPD104	001-421.0000.67100	114.72
				3688-131232	Battery - PFPD149	001-421.0000.67100	114.72
				3688-134953	Headlights bulbs for stock	001-421.0000.67100	40.32
				3688-133662	Circuit board - PFPD130	001-421.0000.67100	39.53
				3688-133805	Belt - PFPD126	001-421.0000.67100	22.19
				3688-134988	Fuel cap tether - PFPD100	001-421.0000.67100	18.00
V040			Office Depot				
		APMWB	Check	215071496001	Office Supplies-Police	001-421.0000.63060	332.04
VEN01379			O'Reilly Auto Parts				
		APMWB	Check	281621	Struts - PFPD118	001-421.0000.67100	85.05
VEN03694			Otis Elevator Company				
		APMWB	Check	100400617391	Elevator Maintenance	001-421.0000.68060	618.06
P180			Perfection Tire				
		APMWB	Check	1033385	Tire sensor - PFPD87	001-421.0000.67100	50.00
P4384			Proforce Law Enforcement				
		APMWB	Check	469975	Patrol pants - Cox	001-421.4000.72000	260.35
				470633	Ballistic vest - Zibli	001-421.4000.72010	1,000.79
				470966	Ballistic Vest - Cox	001-421.4000.72010	1,000.79
VEN07943			Retail Acquisition & Development, Inc				
		APMWB	Check	27312475	Patrol batteries	001-421.0000.63130	199.99
R251			Serights Ace Hardware				
		APMWB	Check	326704/1	Gas can for snowblowers	001-421.0000.67100	31.49
VEN02035			Staples, Inc				
		APMWB	Check	3496654113	Office Supplies- Police	001-421.0000.63920	84.66
T053			Territorial Supplies, Inc.				
		APMWB	Check	14691	Computer console arms	001-421.0000.80010	4,713.20
Dept 421 Total:							17,376.63

Dept: 423 Oasis

V040			Office Depot				
		APMWB	Check	215071496001	Office Supplies-Police	001-423.1153.68400	129.68
VEN02102			Stevens, Randi M.				
		APMWB	Check	610	VSU Support group counseling - october	001-423.1153.68400	694.00
				611	VSU Support group counseling - November	001-423.1153.68400	531.00

Vendor Number	Vendor Name	Invoice #	Invoice Description	Account Number	Distribution Amount
APMWB	Check	612	VSU support group counseling - december	001-423.1153.68400	515.00
Dept 423 Total:					1,869.68
Dept: 424 Legal					
I115	Idaho Prosecuting Attys. Assoc				
APMWB	Check	12.28.21 McGovern	Membership fees Eileen McGovern	001-424.0000.62060	600.00
Dept 424 Total:					600.00
Dept: 427 Animal Control					
C220	Coleman Oil Co				
APMWB	Check	CL31080	Animal Safety and patrol fuel	001-427.0000.64030	117.75
VEN14044	Glacier Bay Electric LLC				
APMWB	Check	122721	Electrical work for washer/dryer installation	001-427.0000.68010	900.00
R251	Serights Ace Hardware				
APMWB	Check	326327/1	Misc parts for washer/dryer installation	001-427.0000.68010	64.76
Dept 427 Total:					1,082.51
Dept: 431 Streets					
B091	BDS				
APMWB	Check	79872	Utility Billing and Plowing newsletter	001-431.0000.68080	1,823.25
C410	Country Lock & Key, Inc.				
APMWB	Check	8796	Keys	001-431.0000.63000	188.75
H070	Harbor Freight Tools				
APMWB	Check	970732	Laser Thermometer/Air Dual Action Sander/6in	001-431.0000.68110	192.93
VEN01373	Intermountain Sign & Safety				
APMWB	Check	14784	(2) 1/4"x30" Telespar Anchors and Posts	001-431.0000.63260	430.20
L071	Local Highway Technical Assistance Council- LHTAC				
APMWB	Check	T2-111621-3	Pavement Maint Classes - Charged for 11 no s	001-431.0000.64020	660.00
B100	Owen Equipment Company				
APMWB	Check	00104323	Sweeper brooms for mechanical sweeper	001-431.0000.63520	6,109.20
R251	Serights Ace Hardware				
APMWB	Check	326937/1	Shop Towel, Adaptr Insrt, 1" Oetiker Clamp	001-431.0000.63000	15.64
		326871/1	Propane	001-431.0000.63000	13.82
		326913/1	Duct Tape 1.88"x60yd Ace	001-431.0000.63000	8.94
		326782/1	Tire Gauge Dial Brass	001-431.0000.67090	8.99
		326696/1	Plastic Bucket 5 Gal/ Sheet Alum 8"x18"x0.25"	001-431.0000.68110	16.72
		326946/1	rurual Mailbox	001-431.0000.68150	29.69
T090	Thorco, Inc.				
APMWB	Check	1794671	PF - Ped Push Bay St - Seltice WO #12902	001-431.0000.68130	1,347.09
T118	TPI Embroidery				
APMWB	Check	17759	Embroidered Jacket for Jenny	001-431.4000.72000	56.78
Dept 431 Total:					10,902.00
Dept: 433 Facility Maintenance					
C320	Comfort Heating & Air, Inc.				
APMWB	Check	11902006	hvac Ch server room air conditioner	001-433.0000.68030	223.00
P310	Platt Electric Supply				
APMWB	Check	oz17622	Bulbs CH	001-433.0000.63720	799.34
		z982210	Batteries CH	001-433.0000.63730	144.58
W0226	Walter E Nelson Co				
APMWB	Check	460416	Batteries for the CH Floor scrubber	001-433.0000.63730	418.10
Dept 433 Total:					1,585.02
Dept: 434 Fleet Maintenance					
A1395	Advanced Compressor & Hose Inc				
APMWB	Check	86178	Wire Hydraulic hose, Multilift, Multi Ferrule, pei	001-434.0000.63011	143.16
		86234	Wire Hydraulic Hose, Gates MC Barb, Insert-M001	001-434.0000.63011	46.58
A0001	Alsco				
APMWB	Check	LSPO2478781	Office Supplies & Uniforms	001-434.0000.63160	102.79
		LSPO2481010	Office supplies & Uniforms	001-434.0000.63160	158.44
		LSPO2476598	Office Supplies & Uniforms	001-434.0000.63160	117.51

Vendor Number	Vendor Name	Bank Code	Payment Type	Invoice #	Invoice Description	Account Number	Distribution Amount
<u>F145</u>	Freightliner Northwest- Spokane	APMWB	Check	PC001536360-01	Serpentine belt S211	001-434.0000.63011	32.01
				SR001110943-01	Service Repair S215	001-434.0000.63011	1,224.30
				PC001534346-01	Water pump S211	001-434.0000.63011	390.63
<u>VEN08121</u>	PacWest Machinery LLC	APMWB	Check	30404746	S344 I70 loader	001-434.0000.67170	13,509.24
				30404943	Loader delivery	001-434.0000.67170	350.00
				30404745	S344 I70 loader	001-434.0000.67170	1,203.76
<u>P1001</u>	Pape Machinery	APMWB	Check	13180547	AT405918 Cap, AT173193 Cap	001-434.0000.63011	47.83
<u>VEN08163</u>	Superior Towing & Recovery LLC	APMWB	Check	40304	Towing Service	001-434.0000.67170	650.00
<u>T106</u>	Titan Truck Equipment	APMWB	Check	1311437	Harness,grill to relay. Harness, truck light relay	001-434.0000.63012	218.33

Dept 434 Total: 18,194.58

Dept: 441 Urban Forestry

<u>C130</u>	Coeur d'Alene Tractor	APMWB	Check	CDA-1058157	Chainsaw chain	001-441.0000.67010	22.99
<u>VEN03826</u>	FMI Equipment	APMWB	Check	0334652-IN	Hardware and anvil for brush chipper	001-441.0000.67010	323.54
<u>VEN05363</u>	North 40 Outfitters	APMWB	Check	037613/E	6-ft tall orchard ladder	001-441.0000.67090	149.99
<u>R251</u>	Serights Ace Hardware	APMWB	Check	326821/1	Annual Small equipment maintenace items	001-441.0000.67010	68.01

Dept 441 Total: 564.53

Dept: 442 Cemetery

<u>C2961</u>	Cold Spring Granite Company	APMWB	Check	1809177	Briscoe Matching VA Plaque	001-442.0000.63760	200.00
<u>VEN14550</u>	Marianne E Turbes	APMWB	Check	INV0139158	Lot Refund	001-442.1670.33307	700.00
<u>R251</u>	Serights Ace Hardware	APMWB	Check	326723	Propane tank exchane and fill	001-442.0000.67030	19.79

Dept 442 Total: 919.79

Dept: 443 Parks

<u>A365</u>	American On-Site Services	APMWB	Check	444101	Kiwanis Portable	001-443.0000.65050	85.00
				444124	4th St Trailhead portable	001-443.0000.65050	85.00
				444129	Warren Portable	001-443.0000.65050	85.00
				444131	Woodbridge Portable	001-443.0000.65050	65.00
				444100	White Pine Portable	001-443.0000.65050	85.00
				44126	Chase Park Portable	001-443.0000.65050	65.00
				444095	Meadows Portable	001-443.0000.65050	65.00
				444105	Syringa portable	001-443.0000.65050	65.00
				444103	Crown Pointe Portable	001-443.0000.65050	65.00
				444097	Corbin portable	001-443.0000.65050	150.00
				444102	Tullamore Portable	001-443.0000.65050	145.00
				444104	Beck Portable	001-443.0000.65050	65.00
				444098	Black Bay Portables	001-443.0000.65050	130.00
				444099	444099	001-443.0000.65050	85.00
				444096	Hilde Kellogg	001-443.0000.65050	85.00
<u>VEN14159</u>	Bill's Heating LLC	APMWB	Check	108488	Trailhead Furnace Repair	001-443.1658.62330	59.00
<u>C280</u>	Coeur d'Alene Power Tool	APMWB	Check	2-202398	Replacement Blades	001-443.0000.67030	21.98
<u>H003</u>	H.D. Fowler Company	APMWB	Check	15937634	Tullamore Irrigation	001-443.0000.68230	60.49
<u>H1957</u>	Horizon	APMWB	Check	2s161147	Ice melt for winter	001-443.0000.68220	490.00

Vendor Number	Vendor Name	Invoice #	Invoice Description	Account Number	Distribution Amount
<u>N001</u>	Napa Auto Parts				
APMWB	Check	2688-133833	Small Equipment Parts	001-443.0000.66190	8.51
<u>P310</u>	Platt Electric Supply				
APMWB	Check	1V28021	Hardware	001-443.0000.67030	167.00
		1J18954	Credit on return	001-443.0000.67030	-55.68
		1G42763	Credit on Return	001-443.0000.67030	-55.68
<u>R060</u>	Ragan Equipment Co.				
APMWB	Check	01-102318	Small Equipment Parts	001-443.0000.66190	404.12
<u>R1691</u>	River City Paint & Decorating				
APMWB	Check	48760	Paint for shop	001-443.0000.68160	142.99
		48835	Paint for trailhead	001-443.1658.62330	117.90
<u>R251</u>	Serights Ace Hardware				
APMWB	Check	326743/1	Hardware	001-443.0000.67030	15.77
		326888/1		001-443.0000.67030	38.79
		326930/1	Tape for stock	001-443.0000.67030	21.57
		326669/1	Vandalism Repair	001-443.0000.67050	32.81
Dept 443 Total:					2,794.57
Dept: 445 Recreation					
<u>VEN14522</u>	Corliss Smidt				
APMWB	Check	INV0139078	River City Basketball League Official	001-445.0000.62040	132.00
<u>VEN14549</u>	Dash Platform, LLC				
APMWB	Check	00638789	Online registration system	001-445.1445.62190	939.34
<u>VEN14537</u>	Jaxon Lysne				
APMWB	Check	INV0139079	River City Basketball League Official	001-445.0000.62040	66.00
<u>VEN14520</u>	Joshua Carter				
APMWB	Check	INV0139082	River City Basketball Official	001-445.0000.62040	88.00
<u>VEN07852</u>	Leanna Brenner				
APMWB	Check	INV0139075	River City Basketball League Official	001-445.0000.62040	66.00
<u>VEN11585</u>	Mathew R. Colwell				
APMWB	Check	INV0139081	River City Basketball League Official	001-445.0000.62040	110.00
<u>VEN09553</u>	Michael E Buratto				
APMWB	Check	INV0139083	River City Basketball League Official	001-445.0000.62040	110.00
<u>VEN14017</u>	Neal Bishop				
APMWB	Check	INV0139076	River City Basketball League Official	001-445.0000.62040	44.00
<u>VEN09552</u>	Randall Scott Brown				
APMWB	Check	INV0139084	River City Basketball League Official	001-445.0000.62040	154.00
<u>VEN11612</u>	Ryan B Nipp				
APMWB	Check	12.13.21	River City Basketball League	001-445.0000.62040	66.00
		11.23.21	River City Basketball Tournament Official	001-445.0000.62040	88.00
<u>VEN02670</u>	SESAC LLC				
APMWB	Check	10533128	Music Performance license fee	001-445.0000.62170	1,025.00
<u>VEN12753</u>	Todd Bitterman				
APMWB	Check	INV0139085	River City Basketball Official	001-445.0000.62040	88.00
<u>T1350</u>	Tucker, Marvin				
APMWB	Check	INV0139077	River City Basketball League Official	001-445.0000.62040	154.00
<u>W03460</u>	Washington Recreation & Park Association				
APMWB	Check	6628 B	Advertising Recreation Coord. postion	001-445.0000.62080	50.00
Dept 445 Total:					3,180.34
Dept: 450 Economic & Comm. Dev. Rev					
<u>VEN08162</u>	ADT SECURITY SERVICES				
APMWB	Check	INV0138898	Voided Permit ELEC-006099-2021	001-450.1753.38502	73.76
<u>C320</u>	Comfort Heating & Air, Inc.				
APMWB	Check	12.28.21	Refund equipment not installed	001-450.1756.38501	63.00
<u>VEN12907</u>	Innovative Electrical Solutions, LLC				
APMWB	Check	12.28.21	Refunding duplicate permit	001-450.1753.38502	65.00
<u>VEN14543</u>	Shafer Heating & Cooling				
APMWB	Check	12.28.21	Refund fixture not installed	001-450.1756.38501	16.00
<u>VEN13066</u>	Trademark Mechanical				
APMWB	Check	12.30.21	Voided permit MECR-001763-2021, job cancel	001-450.1756.38501	373.00

Vendor Number	Vendor Name	Invoice #	Invoice Description	Account Number	Distribution Amount
<u>VEN03831</u>	Vital Power & Communications				
APMWB	Check	<u>12.30.21</u>	Voided permit ELER-005974-2021, duplicate p	001-450.1753.38502	65.00
<u>VEN14253</u>	Wyatt Electric & Construction				
APMWB	Check	<u>12.28.21</u>	Refund incorrectly pulled permit	001-450.1753.38502	100.00
Dept 450 Total:					755.76

Dept: 451 Planning & Zoning

<u>C291</u>	Coeur d' Alene Press				
APMWB	Check	<u>100500628-12022021</u>	Post Falls Baptist Church ZC/ Zone change p	001-451.0000.62000	200.03
		<u>0000503441</u>	Comp Plan Amendment Publication	001-451.0000.62000	73.66
		<u>0000503452</u>	Special use permit dual brand	001-451.0000.62000	220.79
<u>VEN01101</u>	Express Employment Professionals				
APMWB	Check	<u>26514968</u>	Hours for the week of 12-19-2021	001-451.0000.62040	460.80
<u>V040</u>	Office Depot				
APMWB	Check	<u>216746314001</u>	Office Supplies- Community Development	001-451.0000.63060	34.14
Dept 451 Total:					989.42

Dept: 452 Building Inspector

<u>B091</u>	BDS				
APMWB	Check	<u>79872</u>	Utility Billing and Plowing newsletter	001-452.0000.62040	50.00
<u>V040</u>	Office Depot				
APMWB	Check	<u>219548160001</u>	Office Supplies- Building	001-452.0000.63060	13.26
		<u>216747162001</u>	Office Supplies- Community Development	001-452.0000.63060	15.22
		<u>219548160001</u>	Office Supplies- Building	001-452.0000.63060	26.24
		<u>219537310001</u>	Office Supplies- Building	001-452.0000.63060	87.98
		<u>216746314001</u>	Office Supplies- Community Development	001-452.0000.63060	45.96
Dept 452 Total:					238.66

Dept: 481 Capital Improvements/Contracts

<u>VEN03694</u>	Otis Elevator Company				
APMWB	Check	<u>100400617391</u>	Elevator Maintenance	001-481.0000.68060	618.06
Dept 481 Total:					618.06
Fund 001 Total:					114,650.81

Fund: 003 - PERSONNEL BENEFIT POOL

Dept: 482 Personnel Pool

<u>S7509</u>	Jason Swain & Associates				
APMWB	Check	<u>1</u>	Public Works Leadership Program	003-482.0000.64020	4,750.00
<u>VEN14038</u>	Patty Shea Consulting, LLC				
APMWB	Check	<u>220101</u>	Supervisor Training	003-482.0000.64020	1,000.00
<u>Y0180</u>	Yoga By Cindy				
APMWB	Check	<u>00052</u>	wellness	003-482.4000.73000	309.00
Dept 482 Total:					6,059.00
Fund 003 Total:					6,059.00

Fund: 007 - DRUG SEIZURE PROGRAM

Balance Sheet Accounts

<u>VEN14548</u>	Korey Hohn				
APMWB	Check	<u>21PF30056</u>	Release of suspense funds Ref 21PF30056	007-20020	91.00
Balance Sheet Accounts Total:					91.00
Fund 007 Total:					91.00

Fund: 029 - CEMETERY CAPITAL IMPROVEMENT

Dept: 442 Cemetery

<u>VEN14550</u>	Marianne E Turbes				
APMWB	Check	<u>INV0139158</u>	Lot Refund	029-442.1670.39315	700.00
Dept 443 Total:					700.00

Packet: APPKT09183 - 1/19/2022 Check Run
Vendor Set: 01 - Vendor Set 01

Check Date: 1/11/2022

Vendor Number	Vendor Name	Bank Code	Payment Type	Invoice #	Invoice Description	Account Number	Distribution Amount
Fund: 038 - PARKS IMPACT FEES							
Dept: 443 Parks							
VEN14069	Michael Terrell- Landscape Architecture, PLLC						
APMWB	Check		4667	Sports Complex Mass Grading Design	038-443.0000.94165		14,076.50
			4669	Sports Complex Project	038-443.0000.94165		500.00
Dept 443 Total:							14,576.50
Fund 038 Total:							14,576.50
Fund: 650 - RECLAIMED WATER OPERATING							
Dept: 463 Wastewater Operating							
A090	Accurate Testing Labs LLC						
APMWB	Check		121126	Dec Monthly Testing	650-463.0000.68360		610.00
			121466	Water Testing	650-463.6530.68225		330.00
A1395	Advanced Compressor & Hose Inc						
APMWB	Check		86052	Plug Wrench	650-463.0000.68025		76.82
VEN03129	Barr Tech LLC						
APMWB	Check		7181	Bio Solids	650-463.0000.62150		36,363.54
C18750	CityServiceValcon, LLC						
APMWB	Check		0549081	Ditch oil	650-463.0000.68025		2,668.88
C3090	Columbia Electric Supply						
APMWB	Check		1120-1006789	Lamp, Pocket Screwdriver	650-463.0000.68025		226.77
VEN03982	Dally Environmental LLC						
APMWB	Check		2572	Avista Contract R-39492 - Services rendered	1650-463.0000.62040		525.54
D070	Dell Marketing LP						
APMWB	Check		10549861213	Beacham laptop and docking station	650-463.0000.80010		1,673.35
I2731	Inland Environmental Resources						
APMWB	Check		2022-0007	mag order 1/1/22	650-463.0000.63008		7,229.20
VEN09639	McHugh Bromley PLLC						
APMWB	Check		2869	December legal support for reuse matter Split	650-463.0000.62010		51.00
VEN04172	Northwest Scientific, Inc.						
APMWB	Check		5151838	Pump Tubing Silicone	650-463.0000.63400		249.68
			5152137	Pipet tips, Phosphate solution, and Ammonia	650-463.0000.63400		468.77
			5152177	Buffer Standard Solution	650-463.0000.63400		305.09
			5152191	Buffer Powders	650-463.0000.63400		22.73
			5152188	Detergent	650-463.0000.63400		139.72
			5151841	RBS Cleaner - Lab	650-463.0000.63400		211.23
			5152190	Electrode Storage Solutions	650-463.0000.63400		42.08
V040	Office Depot						
APMWB	Check		219559148001	Office Supplies- Water/Wastewater	650-463.0000.63060		50.37
			219555745001		650-463.0000.63060		11.76
			219559141001		650-463.0000.63060		92.07
			219555745001		650-463.0000.63060		19.29
P125	Paramount Supply Company						
APMWB	Check		433651	PVC Pipe	650-463.0000.68025		163.96
Q001	Quality Control Services Inc.						
APMWB	Check		65748	Certificate of Calibration on DO Meter, pH Met	650-463.0000.63400		875.00
R251	Serights Ace Hardware						
APMWB	Check		326541/1	Snow & Ice Traction, Straight Valve	650-463.0000.63110		98.93
			326916/1	Utility Pull 5 1/2"	650-463.0000.68025		4.49
			326766/1	Drain Boiler, Elbows & Adapters	650-463.0000.68025		11.67
			326960/1	Bolts,silicone, and drill bits	650-463.0000.68025		162.29
T11390	T-O Engineers, Inc.						
APMWB	Check		210756-1	Phase 2 services	650-463.0000.62040		583.40
			210756-2	Dec Billing PH 2 Hydrogeo	650-463.0000.62040		1,458.50
			210544-4	Dec Billing PH 2 Lidar/Hydrogeo	650-463.0000.62040		4,793.80
U145	USABlue Book						
APMWB	Check		811768	Beaker Borosilicate Glass	650-463.0000.63400		162.15
			810475	Filters, buffer solution	650-463.0000.63400		757.22

Vendor Number	Vendor Name	Bank Code	Payment Type	Invoice #	Invoice Description	Account Number	Distribution Amount
W095	Welding Fabrication Services	APMWB	Check	23401	HYDRAULIC MOTOR PARTS	650-463.0000.68025	55.00
Dept 463 Total:							60,494.30
Dept: 466 Wastewater - Collections							
A1395	Advanced Compressor & Hose Inc	APMWB	Check	86013	Fuel Filter, Element and bushing	650-466.0000.63006	71.17
A497	Arrow Construction Supply, Inc	APMWB	Check	324038	Fluorescent Green Marking Rustoleum -	650-466.0000.63006	90.00
C3090	Columbia Electric Supply	APMWB	Check	1120-1006757	Vinyl tape, Butt splice, cut pliers, and nut drive	650-466.0000.63330	126.68
F020	Fastenal Company	APMWB	Check	IDCOE135120	Drill bits	650-466.0000.67090	72.56
N001	Napa Auto Parts	APMWB	Check	3688-133758	Battery & Core Deposit	650-466.0000.63006	148.68
N130	North Coast Electric Company	APMWB	Check	S011414692.001	Sure grip Clip	650-466.0000.67090	33.99
P310	Platt Electric Supply	APMWB	Check	2189635	Shop Supplies	650-466.0000.67090	91.63
R251	Serights Ace Hardware	APMWB	Check	326978/1	Conduit	650-466.0000.63330	20.24
				326587/1	Drill Bit & Nails	650-466.0000.67090	60.47
				326805/1	Pliers, Wrenches	650-466.0000.67090	54.31
W090	Welch Comer & Associates, Inc.	APMWB	Check	41354080-001	Survey at corbin lift station	650-466.0000.62040	2,850.00
W180	Western States Equipment	APMWB	Check	IN001851870	tullimore fuel pump	650-466.0000.63006	3,521.42
				IN001874980	Troubleshoot Generator Shutdown	650-466.0000.63006	473.80
				IN001884936	Coolant Level Sensor	650-466.0000.63006	462.01
VEN14518	Woodhawk Controls, LLC	APMWB	Check	WC-21228-01	Service Call - Shore Pines LS	650-466.0000.62040	305.00
Dept 466 Total:							8,381.96
Fund 650 Total:							68,876.26

Fund: 651 - RECLAIMED WATER CAPITAL - WWTP

Dept: 463 Wastewater Operating

A293	Allwest Testing & Engin., LLC	APMWB	Check	23349	Special Inspections and Testiong for the constr	651-463.3213.90015	4,713.40
J105	J-U-B Engineers, Inc.	APMWB	Check	0149198	Engineering and CMS services for the construc	651-463.3213.90015	119,271.97
P050	Panhandle Area Council	APMWB	Check	20-PFLM	Wage compliance services for the construction	651-463.3213.90015	1,871.00
VEN14291	Sletten Construction Company	APMWB	Check	Pay App 14	Construction of the WRF Tertiary project	651-463.3213.90015	1,265,138.58
Dept 463 Total:							1,390,994.95
Fund 651 Total:							1,390,994.95

Fund: 652 - RECLAIMED WATER CAPITAL - COLLECTOR

Dept: 463 Wastewater Operating

VEN13635	Big Sky ID, Corp	APMWB	Check	Big_Sky_Pioneer_Reqr	Release of retainage as part of Pioneer Ridge I	652-463.3220.95520	18,108.03
VEN14037	Lake City Law Group PLLC	APMWB	Check	27426	Legal services for SH - 41 Gravity sewer projec	652-463.3121.95520	140.00
T11390	T-O Engineers, Inc.	APMWB	Check	210583-2	Bentley LS Rehab Engineering services for dec	652-463.3220.95520	2,162.35
Dept 463 Total:							20,410.38
Fund 652 Total:							20,410.38

Vendor Number	Vendor Name	Invoice #	Invoice Description	Account Number	Distribution Amount
Fund: 700 - SANITATION					
Dept: 461 Sanitation					
C115	Northwest Waste & Recycling LLC				
APMWB	Check	1.10.22	Sanitation Monthly Contract	700-461.0000.62042	288,461.60
VEN02385	Prairie Transfer Station				
APMWB	Check	04-39133	General Refuse	700-461.0000.65050	30.55
Dept 461 Total:					288,492.15
Fund 700 Total:					288,492.15
Fund: 750 - WATER OPERATING					
Dept: 462 Water Operating					
A090	Accurate Testing Labs LLC				
APMWB	Check	121515	Water Testing	750-462.0000.68360	1,280.00
		120783	Haloacetic Acids & Trihalomethanes	750-462.0000.68360	250.00
		121329	Coliform Presence / Absence	750-462.0000.68360	175.00
		121288	Coliform Presence/ Absence	750-462.0000.68360	175.00
		121116	Coliform Presence/Absence	750-462.0000.68360	150.00
		121362	Coliform Presence / Absence	750-462.0000.68360	100.00
		121186	Coliform Presence/ Absence	750-462.0000.68360	100.00
		121231	Coliform Presence/ Absence, Nitrate	750-462.0000.68360	50.00
		121001	Nitrate	750-462.0000.68360	50.00
		121381	Generate & Print Archived Reports for 2019	750-462.0000.68360	340.00
A1395	Advanced Compressor & Hose Inc				
APMWB	Check	86192	Automatic fuel Nozzle - W110	750-462.0000.63280	79.95
VEN14124	Badger Meter, Inc.				
APMWB	Check	80072753	Mobil Read Module Service Units - Beacon Ho:	750-462.0000.66012	2,411.34
		80088791	Beacon Mobil Hosting Service Unit	750-462.0000.66012	18.60
C1161	CDA Garbage				
APMWB	Check	1264604	Recycle Bin - Water	750-462.0000.65050	34.50
VEN14305	General Pacific, Inc				
APMWB	Check	1427314	2' Meters	750-462.0000.63280	2,238.00
H003	H.D. Fowler Company				
APMWB	Check	15988093	Service/repair parts	750-462.0000.63280	2,882.46
		15977100	Blue Flags	750-462.0000.63280	24.00
		15977480	1" Spears Union Ball Valve	750-462.0000.63280	67.81
N001	Napa Auto Parts				
APMWB	Check	3688-133316	Tools for W#120 Truck	750-462.0000.67090	47.37
N0991	Norco Inc				
APMWB	Check	33730606	Ice Melt, Gloves, N95 Respirator, Airsoft w/ Co	750-462.0000.63110	456.28
		33730608	Winter Gloves	750-462.0000.63110	72.96
		33782522	Ice Gripster Black Water Repel Nylon	750-462.0000.63110	43.28
		33763068	Blue Heat Ice Melt, Black Water Repel Nylon	750-462.0000.63280	203.34
V040	Office Depot				
APMWB	Check	219555745001	Office Supplies- Water/Wastewater	750-462.0000.63060	2.76
R251	Serights Ace Hardware				
APMWB	Check	326253/1	Space Heater for South Park Well House	750-462.0000.63280	50.39
		326355/1	Torch Kit, Anti-Slip Tape	750-462.0000.63280	77.37
		326354/1	Insulate Reflection, Hitch Pin & Clip	750-462.0000.63280	100.73
		326923/1	Well 7 Miox HR Meter meter	750-462.0000.63280	100.95
		326509/1	Shop Supplies - Water	750-462.0000.63280	117.94
		326545/1	Water Shop Supplies	750-462.0000.63280	139.95
		326756/1		750-462.0000.63280	231.96
		326957/1	Supplies for well 10	750-462.0000.68025	72.21
		326552/1	Supplies for Well #3 & Well #10	750-462.0000.68025	155.15
VEN02035	Staples, Inc				
APMWB	Check	3496654111b	Office Supplies- Water	750-462.0000.63060	5.17
U145	USABlue Book				
APMWB	Check	829273	Locale Supplies	750-462.0000.63280	962.61
		828449	Locate supplies	750-462.0000.63280	173.67
		827540	Flushing units	750-462.0000.67020	4,723.46

Vendor Number	Vendor Name	Invoice #	Invoice Description	Account Number	Distribution Amount
<u>VEN10057</u>	USC Foundation				
APMWB	Check	18902	CCC 2022 Membership Fee	750-462.0000.62060	262.25
<u>W180</u>	Western States Equipment				
APMWB	Check	IN001858168	Air Filter	750-462.0000.68025	208.80
<u>Z026</u>	Ziegler Lumber Co #017				
APMWB	Check	142731	Supplies for well 10	750-462.0000.68025	59.75
Dept 462 Total:					18,695.01
Fund 750 Total:					18,695.01
Report Total:					1,923,546.06



Fund	Account	Amount
001 - GENERAL FUND		
	001-22115	2,000.00
	001-412.0000.62001	1,230.00
	001-412.0000.66014	6,099.32
	001-412.0000.80010	8,219.30
	001-414.0000.62091	13,500.00
	001-414.0000.63060	73.20
	001-414.0000.66015	13,680.62
	001-414.1445.62170	4,859.84
	001-414.1445.62190	2,898.13
	001-415.0000.62000	318.85
	001-418.4000.72070	100.00
	001-421.0000.62040	475.00
	001-421.0000.63060	332.04
	001-421.0000.63130	199.99
	001-421.0000.63290	606.72
	001-421.0000.63920	221.78
	001-421.0000.64020	753.25
	001-421.0000.64030	5,344.08
	001-421.0000.66014	225.00
	001-421.0000.67020	331.55
	001-421.0000.67100	646.44
	001-421.0000.68060	618.06
	001-421.0000.80010	4,713.20
	001-421.4000.72000	907.94
	001-421.4000.72010	2,001.58
	001-423.1153.68400	1,869.68
	001-424.0000.62060	600.00
	001-427.0000.64030	117.75
	001-427.0000.68010	964.76
	001-431.0000.63000	227.15
	001-431.0000.63260	430.20
	001-431.0000.63520	6,109.20
	001-431.0000.64020	660.00
	001-431.0000.67090	8.99
	001-431.0000.68080	1,823.25
	001-431.0000.68110	209.65
	001-431.0000.68130	1,347.09
	001-431.0000.68150	29.69
	001-431.4000.72000	56.78
	001-433.0000.63720	799.34
	001-433.0000.63730	562.68
	001-433.0000.68030	223.00
	001-434.0000.63011	1,884.51
	001-434.0000.63012	218.33
	001-434.0000.63160	378.74
	001-434.0000.67170	15,713.00
	001-441.0000.67010	414.54
	001-441.0000.67090	149.99
	001-442.0000.63760	200.00
	001-442.0000.67030	19.79
	001-442.1670.33307	700.00
	001-443.0000.65050	1,325.00
	001-443.0000.66190	412.63
	001-443.0000.67030	153.75
	001-443.0000.67050	32.81
	001-443.0000.68160	142.99

001-443.0000.68220	490.00
001-443.0000.68230	60.49
001-443.1658.62330	176.90
001-445.0000.62040	1,166.00
001-445.0000.62080	50.00
001-445.0000.62170	1,025.00
001-445.1445.62190	939.34
001-450.1753.38502	303.76
001-450.1756.38501	452.00
001-451.0000.62000	494.48
001-451.0000.62040	460.80
001-451.0000.63060	34.14
001-452.0000.62040	50.00
001-452.0000.63060	188.66
001-481.0000.68060	618.06
Fund 001 Total:	114,650.81
003 - PERSONNEL BENEFIT POOL	
003-482.0000.64020	5,750.00
003-482.4000.73000	309.00
Fund 003 Total:	6,059.00
007 - DRUG SEIZURE PROGRAM	
007-20020	91.00
Fund 007 Total:	91.00
029 - CEMETERY CAPITAL IMPROVEMENT	
029-442.1670.39315	700.00
Fund 029 Total:	700.00
038 - PARKS IMPACT FEES	
038-443.0000.94165	14,576.50
Fund 038 Total:	14,576.50
650 - RECLAIMED WATER OPERATING	
650-463.0000.62010	51.00
650-463.0000.62040	7,361.24
650-463.0000.62150	36,363.54
650-463.0000.63008	7,229.20
650-463.0000.63060	173.49
650-463.0000.63110	98.93
650-463.0000.63400	3,233.67
650-463.0000.68025	3,369.88
650-463.0000.68360	610.00
650-463.0000.80010	1,673.35
650-463.6530.68225	330.00
650-466.0000.62040	3,155.00
650-466.0000.63006	4,767.08
650-466.0000.63330	146.92
650-466.0000.67090	312.96
Fund 650 Total:	68,876.26
651 - RECLAIMED WATER CAPITAL - WWTP	
651-463.3213.90015	1,390,994.95
Fund 651 Total:	1,390,994.95
652 - RECLAIMED WATER CAPITAL - COLLECTOR	
652-463.3121.95520	140.00
652-463.3220.95520	20,270.38
Fund 652 Total:	20,410.38
700 - SANITATION	
700-461.0000.62042	288,461.60
700-461.0000.65050	30.55
Fund 700 Total:	288,492.15
750 - WATER OPERATING	
750-462.0000.62060	262.25
750-462.0000.63060	7.93
750-462.0000.63110	572.52
750-462.0000.63280	7,451.13
750-462.0000.65050	34.50
750-462.0000.66012	2,429.94
750-462.0000.67020	4,723.46
750-462.0000.67090	47.37

750-462.0000.68025
750-462.0000.68360

	495.91
	2,670.00
Fund 750 Total:	18,695.01
Report Total:	1,923,546.06

ACCOUNTS PAYABLE HANDCHECK ACCOUNTABILITY FOR CHECK RUN 01.19.22

12/29/2021	\$ 75.60	85704 AT&T- Long Distance	Pay Before Due Date	001-431.0000.65030
12/29/2021	\$ 1,692.05	85705 AT&T Mobility	Pay Before Due Date	001-421.0000.65030
12/29/2021	\$ 9,181.18	85706 AVISTA Utilities	Pay Before Due Date	Various
12/29/2021	\$ 130.35	85707 H & H Business Systems, Inc.	Pay Before Due Date	Various
12/29/2021	\$ 43.90	85708 Kootenai Electric	Pay Before Due Date	001-443.0000.65021
12/29/2021	\$ 2,779.11	85709 Level 3 Communications	Pay Before Due Date	Various
12/29/2021	\$ 501.32	85710 Ricoh USA Inc.	Pay Before Due Date	001-421.0000.66050
12/29/2021	\$ 79.98	85711 Time Warner Cable	Pay Before Due Date	650-466.0000.65040
12/29/2021	\$ 150.03	85712 Zply Fiber	Pay Before Due Date	Various
12/29/2021	\$ 287,858.93	85713 Northwest Waste & Recycling LLC	Pay Before Due Date	700-461.0000.62042
1/4/2022	\$ 300,000.00	85887 River's Edge Marina	Jason's Request	001-444.0000.94180
1/6/2022	\$ 46.70	85891 AT&T- Long Distance	Pay Before Due Date	001-445.0000.65030
1/6/2022	\$ 1,041.80	85892 AT&T Mobility	Pay Before Due Date	Various
1/6/2022	\$ 1,210.47	85893 AVISTA Utilities	Pay Before Due Date	Various
1/6/2022	\$ 222.10	85894 Clayton Wllde	Pay Before Due Date	001-21050
1/6/2022	\$ 124.00	85895 Configio	Pay Before Due Date	Various
1/6/2022	\$ 109.80	85896 Idaho State Tax Commission	Pay Before Due Date	001-22095
1/6/2022	\$ 1,424.17	85897 Kootenai County Treasurer	Pay Before Due Date	650-463.0000.65110
1/6/2022	\$ 1,448.56	85898 Level 3 Communications	Pay Before Due Date	Various
1/6/2022	\$ 1,012.25	85899 Post Falls Food Bank	Pay Before Due Date	001-22110
1/6/2022	\$ 210.55	85900 Theresa Bryant	Pay Before Due Date	001-21050
1/6/2022	\$ 611.62	85901 Time Warner Cable	Pay Before Due Date	Various
1/6/2022	\$ 491.72	85902 Verizon Wireless	Pay Before Due Date	Various
1/6/2022	\$ 3,200.85	85903 Zply Fiber	Pay Before Due Date	Various
	\$ 613,647.04			

**CITY OF POST FALLS
AGENDA REPORT
CONSENT AGENDA
MEETING DATE: JANUARY 18, 2022**

DATE: JANUARY 11, 2022

TO: HONORABLE MAYOR AND CITY COUNCIL

FROM: BILL MELVIN, CITY ENGINEER

SUBJECT: FOXTAIL 7TH ADDITION SUBDIVISION CONSTRUCTION IMPROVEMENT AGREEMENT

ITEM AND RECOMMENDED ACTION: With approval of the Consent Agenda, City Council authorizes the Mayor to sign the Construction Improvement Agreement for the subject subdivision.

DISCUSSION: This Agreement reflects the construction phase of the Foxtail 7th Addition Subdivision. The Agreement sets forth the typical expectations of the Developer of the subdivision, and sets forth the responsibilities of the Developer and the City of Post Falls. This is a 29-lot subdivision, with the application for plat submitted by Coeur Development, LLC.

ITEM / PROJECT PREVIOUSLY REVIEWED BY COUNCIL ON: N/A

APPROVED OR DIRECTION GIVEN: N/A

FISCAL IMPACT OR OTHER SOURCE OF FUNDING: N/A

BUDGET CODE: N/A

SUPPORTING DOCUMENTS: A copy of the Construction Improvement Agreement is available in the Community Development office for review.

CITY OF POST FALLS
408 SPOKANE STREET
POST FALLS, IDAHO 83854

CONSTRUCTION IMPROVEMENT AGREEMENT

THE CITY OF POST FALLS (hereinafter the "City"), 408 Spokane Street, Post Falls, Idaho 83854 and **Coeur Development, LLC** (hereinafter the "Developer"), enter into this Agreement effective the ____ day of _____ 20____, respecting the development of **Foxtail 7th Addition**, the "Project", affecting the public rights of way or other public systems, equipment or property within the City of Post Falls. This Agreement provides for construction of subdivision improvements intended for ownership or maintenance by the City of Post Falls and other purveyors to support the development in accordance with the Subdivision Ordinance of the City of Post Falls.

I, **Melissa Wells**, execute this Agreement as the Developer with full responsibility for the proper development of the Project in accordance with provisions of the law and the specific terms and conditions made applicable to the Project in the course of project review by the City of Post Falls, as applicable. It is understood that the person(s) who execute this Agreement on behalf of the Developer does so in the capacity of Owner, and that they represent that they have full legal authority to do so. The parties to this Agreement shall accept notices at the following respective addresses and telephone numbers:

DEVELOPER
Melissa Wells
Coeur Development, LLC
1859 N. Lakewood Dr.
Coeur D'Alene, ID 83814
(208) 755-2886

CITY
Ronald Jacobson, Mayor
City of Post Falls
408 Spokane Street
Post Falls, Idaho 83854
(208) 773-3511

WHEREAS, no construction of public improvements shall be allowed until plans are approved by the City Engineer as authorized by the City Council, as appropriate, until Engineering inspection and other fees indicated herein are pre-paid in full, until this Construction Improvement Agreement has been approved by City Council, Mayor or City Engineer, as appropriate, and until this Agreement has been signed, and necessary proof of insurance or surety has been provided; and

WHEREAS, Title 17, Subdivisions, of the Post Falls City Code requires certain common improvements to be provided by the Owner prior to occupancy of structures built within a development project or acceptance of public improvements for maintenance; and

WHEREAS, subdivisions and their inclusive lots must be provided with survey monuments, street surfacing, curbs and gutters, drainage systems, sidewalks, street name signs, street lighting, public water supply, fire hydrants and sanitary sewer system, among others; and

WHEREAS, no building permit may be issued for construction or repair of a dwelling unit in a subdivision for which a plat has not been approved and recorded or adequate surety provided; and no Certificates of Occupancy will be issued until the plat has been recorded and all improvements necessary for public health and safety are constructed and

substantially complete. Said requirement shall not prohibit construction of a pre-approved model home or other demonstration project provided that it is not intended for sale or occupancy before all subdivision improvements are substantially complete and adequate life safety measures are addressed; and

WHEREAS, the Owner is deemed to have satisfied the requirements for the plat to be recorded when all improvements required have been constructed pursuant to an approved Construction Improvement Agreement, or a bond furnished in an amount equaling 150% of the cost of constructing such improvements pursuant to an approved Construction Improvement Agreement; and

WHEREAS, the City of Post Falls has adopted site development standards which require work in the public rights of way in order to complete site development work on projects to comply with the City's Subdivision Ordinance; and

NOW, THEREFORE, in consideration of mutual promises and covenants contained herein, and upon representations made in application documents and presentations before the City's deliberative bodies, the parties agree as follows:

The real property which is the subject of this Agreement (hereinafter the "Property") is located in the City of Post Falls and is described as set forth on Attachment A which is incorporated herein by reference: (Legal Description of External Boundaries of Lands Subject to Development Agreement).

The Developer seeks the City's agreement to enter into a Contract to construct and install the improvements listed in Attachment B in accordance with all terms, covenants and conditions of this Agreement and the Developer's approved construction plans and specifications which are incorporated herein by reference. Any unique terms or conditions of improvement status, including any accelerated or delayed improvement obligations shall be set forth in the Attachments.

The estimated total costs of the improvements to be owned, operated and maintained by the City of Post Falls: utilities to be owned, operated and maintained by a utility other than the City of Post Falls; and other improvements for which surety is required as submitted by the Developer and approved by the City Engineer are depicted on Attachment C for purposes of calculation of surety requirements in accordance with the requirements of ordinances of the City of Post Falls. Evidence any required surety at the time of execution of this Agreement shall be attached hereto and be labeled Attachment D.

ARTICLE I

GENERAL PROVISIONS

1.01 APPLICATION OF ARTICLE

Unless this Agreement expressly provides otherwise, all provisions of this Article applies to every part of this Agreement.

1.02 PERMITS, LAWS, AND FEES

The Developer shall acquire and maintain in good standing all permits, licenses, platting approvals and other requirements necessary to its performance under this Agreement. All actions taken by the Developer under this Agreement shall comply with all applicable statutes, ordinances, rules, and regulations. The Developer shall pay all fees pertaining to its performance under this Agreement in accordance with this Agreement or with laws applicable to actions contemplated. Applicable fees shall be required by Post Falls Municipal Code and resolutions adopted by the City Council implementing Code requirements.

1.03 RELATIONSHIP OF PARTIES

Neither by entering into this Agreement, nor by doing any act hereunder, may the Developer, or any contractor or subcontractor of the Developer, be deemed an agent, employee, or partner of the City, nor otherwise associated with the City other than, in the case of Developer, as an independent contractor. The Developer and its contractors and subcontractors shall not represent themselves to be agents, employees or partners of the City, or otherwise associated with the City other than, in the case of the Developer, as an independent contractor. The Developer shall notify all its contractors and subcontractors of the provision of this section.

1.04 ENGINEER'S RELATION TO THE CITY

Notwithstanding any other agreement, an engineer retained by the Developer to perform work under this Agreement shall not be deemed an agent, employee, partner, or contractor of the City, or otherwise associated with the City. The parties agree that the engineer retained by the Developer to supervise the construction and inspection of the Project is doing so for the benefit of the Developer and City. Engineer's duties include responsible and in-charge, fair, honest, and competent inspection of the work undertaken pursuant to this Agreement in accordance with standards of practice in the engineering profession.

1.05 DEVELOPER'S RESPONSIBILITY

The Developer shall be ultimately responsible for the faithful performance of all terms, covenants and conditions of this Agreement, notwithstanding the Developer's delegation to another of the actual performance of any term, covenant or conditions hereof. The Developer shall notify all contractors, subcontractors, or agents providing professional services of conditions and requirements of this agreement.

1.06 ALLOCATION OF LIABILITY

The Developer shall indemnify and hold the City harmless from any claim, action, or demand arising from any act or omission related to Developer's performance of duties pursuant to this Agreement. The liability assumed by the Developer pursuant to this section includes, but is not limited to, claims for labor and materials furnished for the construction of the improvements. Developer acknowledges that the work on the Project will take place on lands, which may be owned or otherwise subject to

control by the City. Developer shall provide insurance in amounts sufficient to satisfy the obligations of the City pursuant to the Idaho Tort Claims Act, but in no case less than one million dollars (\$1,000,000) per occurrence. City shall be named as an additional insured respecting the premises and conduct of the work on the project including coverage for comprehensive general liability, premises liability and automobile liability. The required evidence of insurance shall be attached hereto as Attachment E.

1.07 DISCLAIMER OF WARRANTY

Notwithstanding this Agreement or any action taken by any person hereunder, neither the City nor any City officer, agent or employee warrants or represents the fitness, suitability or merchantability of a property, plan, design, material, workmanship or structure for any purpose.

1.08 NON-DISCRIMINATION

- A. In performing its obligations under this Agreement, the Developer shall not discriminate against any person on the basis of disability, race, creed, color, national origin, sex, marital status, or age.
- B. In selling property or improvements in the subdivision, the Developer shall not discriminate against any person on the basis of disability, race, creed, color, national origin, sex, marital status, or age.

1.09 COST OF DOCUMENTS

All plans, reports, drawings, or other documents that this Agreement requires to be provided to the City by the Developer shall be furnished at the Developer's expense, free of copyright.

1.10 PUBLIC UTILITIES

- A. Any public utility service contemplated by this Agreement shall be provided only to areas where the service is allowed by applicable law. All utility service shall conform to the rules, regulations, and tariffs of the State of Idaho to the extent they may apply.
- B. If the State of Idaho or other agency having authority disallows any utility service to be provided by the city or any utility following execution of this Agreement, requirements of this Agreement relating to the disallowed service shall be deleted from the requirements of the Developer under this Agreement. The disallowance shall not be grounds for any claim, action, or demand against the City.
- C. The Developer shall bear all cost associated with the installation of all Public Utilities, including street lights. These installation costs shall not be passed on to the City unless provided for otherwise within an appendix to this agreement.
- D. The Developer shall be responsible to either pay the sewer and water cap fees and hookup fees or confirm that those fees have been paid by any property

owner which the developer connects to the City sewer or water system as part of the installation of the public improvement.

- E. The Developer shall be responsible to pay the cost of operation of the street lights within the development for a period of one year. The Developer shall pay to the City, at the time of execution of this Agreement the anticipated cost of the operation of the street lights within the development for one year, as determined by the City.

1.11 TIME IS OF THE ESSENCE

Unless otherwise expressly provided herein, time is of the essence of each and every term, covenant, and condition of this Agreement.

1.12 ASSIGNMENTS

- A. Except insofar as Subsection B of this section specifically permits assignments, any assignment by the Developer of its interest in any part of this Agreement or any delegation of duties under this Agreement shall be void and any attempt by the Developer to assign any part of its interest or delegate any duty under this Agreement shall constitute a default entitling the City to invoke any remedy available to it under Section 1.13.
- B. The Developer may assign its interest or delegate its duties under this Agreement:
 - 1. To the extent that applicable codes require that assignments of contract rights be allowed;
 - 2. To contractors and subcontractors, or to partnerships, limited liability companies or corporations in which the Developer may have a substantial interest, subject to Section 1.05, provided that performance guaranties can be provided or maintained;
 - 3. As expressly permitted in writing by the City. The City will not unreasonably deny assignment if security of performance is maintained on a comparable basis.

1.13 DEFAULT – CITY’S REMEDIES

- A. The City may declare the Developer to be in default:
 - 1. If the Developer is adjudged bankrupt, makes a general assignment for the benefit of creditors, suffers a receiver to be appointed on account of insolvency, takes advantage of any law for the benefit of insolvent debtors; or
 - 2. Except as provided in subsections 3 and 4 below, if the Developer has failed in any measurable way to perform its obligations under this Agreement, except if delayed by an act or omission of the City, acts of God or the public enemy, fires, floods, epidemics, quarantine restrictions, strikes, labor disputes, shortage of materials, sabotage or

freight embargoes, provided the City gives the Developer notice of the failure to perform and the Developer fails to correct the failure within twenty-eight (28) days of receiving the notice; or if the failure requires more than twenty-eight (28) days to cure, the Developer fails within twenty-eight (28) days of receiving the notice to commence and proceed with diligence to prosecute the cure. All such notices to the Developer shall be in writing by certified mail, return receipt requested.

3. If the Developer fails to continue with sustained effort in accordance with the approved Construction Schedule, while working in the existing public traveled or developed rights of way, and the City provides twenty-four (24) hours' notice of this default and the Developer fails to correct the failure within that time period.
4. If the actions of the Developer have created a public hazard or conditions deemed an emergency by the City, the City may declare the Developer in default without providing prior notice and opportunity to cure.

B. Upon a declaration of default, and failure to cure under Section 1.13, the City may do any one or more of the following:

1. Perform any act required of the Developer under this Agreement, including drawing surety and construction of all or any part of the improvements after giving formal notice in writing to the Developer. The Developer shall be liable to the City for any costs thus incurred. The City may deduct any costs incurred from the surety or any payments then or thereafter due the Developer from the City whether under this Agreement or otherwise. No advance notice shall be required by the City to the Developer to correct actions to remedy any items that fall under Section 1.13,A.4.
2. Exercise its rights under any provision of this Agreement, or any performance or warranty guaranty securing the Developer's obligations under this Agreement.
3. Pursue any appropriate judicial remedy including, but not limited to, an action for specific performance, injunction, and civil penalties. City shall be entitled to its attorney's fees in any enforcement action necessary to enforce the terms of this Agreement.

1.14 NON-WAIVER

The failure of the City at any time to enforce a provision of this Agreement shall in no way constitute a waiver of the provision, nor in any way affect the validity of this Agreement or any part hereof, or the right of the City thereafter to enforce each and every provision hereof.

1.15 INTERPRETATION

A. Each document incorporated by reference herein is an essential part of this Agreement, and any requirement, duty or obligation stated in one document is as

binding as if stated in all. All documents shall be construed to operate in a complementary manner and to provide for a complete project. Unless stated otherwise in express terms, the duties to complete the Project in compliance with the approved plans, such that part or all of it can be accepted for public maintenance, is the sole responsibility of the Developer.

B. If the terms of any of the documents and amendments thereto comprising this Agreement conflict, the conflict shall be resolved by giving the conflicting documents and amendments thereto the following order of preference:

1. Documents, appendixes, or sections titled "Special Provisions".
2. Article II of this Agreement, titled "IMPROVEMENT CONSTRUCTION STANDARDS AND PROCEDURES" and Article III of this Agreement titled "FINAL ACCEPTANCE OF IMPROVEMENTS".
3. Article I of this Agreement titled "GENERAL PROVISIONS".
4. Any other documents incorporated by reference herein.

1.16 EFFECT OF STANDARD SPECIFICATIONS

The Design Standards of the City of Post Falls, Idaho, Standards for Public Works Construction and any standards required by Federal or State regulatory agencies are incorporated by reference herein as minimum construction standards for performance under this Agreement, except where this Agreement specifically provides otherwise.

1.17 AMENDMENT

The parties may amend this Agreement only by written agreement, which shall be attached as an appendix hereto.

1.18 JURISDICTION – CHOICE OF LAW

Any civil action arising from this Agreement shall be brought in the District Court of the First Judicial District; venue shall be in Kootenai County. The law of the State of Idaho shall govern the rights and duties of the parties under this Agreement.

1.19 SEVERABILITY

Any provision of this Agreement that may be declared invalid or otherwise unenforceable by a Court of competent jurisdiction shall not affect the validity or enforceability of any other part of this Agreement, so long as the remainder of the Agreement is reasonably capable of completion.

1.20 INTEGRATION

This instrument, including Appendixes and any writings incorporated by reference herein, embody the entire Agreement of the parties. This Agreement shall supersede all previous communications, representations or agreements, whether written or oral, between the parties hereto.

1.21 DEFINITIONS

Unless this Agreement expressly provides otherwise, the following definitions shall apply herein:

- A. "Improvements" mean all work, which the Developer is required to perform by this Agreement.
- B. "City Improvements" means improvements which are to be dedicated to the City, or which are to be operated and controlled by a City-owned utility.
- C. "Private Utility Improvement" means improvements owned, maintained, and operated by a private utility or by a private owner or homeowner's association.
- D. "City", for the purpose of administering this Agreement, means the City of Post Falls, or its chief executive or his/her administrative designee.
- E. "Acceptance", by the City means a determination that an improvement meets City construction standards and does not refer to the City accepting a dedication of the improvement by the Developer.
- F. "Final Acceptance" by the City means that the City is satisfied that all improvements required by this Agreement and Titles 17 and 18 of the Post Falls Municipal Code, or as a result of the procedures required thereby, have been constructed in a satisfactory manner to comply with the specifications.

1.22 APPROVALS AND CONSENTS

Wherever in the Agreement consents or approvals of either party are required, they shall not be unreasonably withheld. Nothing in this provision shall compromise the general police power authority in the City in matters governmental in nature.

1.23 ATTORNEY FEES – MEET AND CONFER

Should either party need to resort to Court proceedings to interpret or enforce provisions of this Agreement, the prevailing party in any such action shall be entitled to recovery of its reasonable attorney fees. No legal action shall begin, nor shall any attorney fees be recoverable, unless the parties have first met and conferred regarding the contested issues. Any party, which refuses to meet and confer in good faith, shall not be entitled to recovery of its attorney fees.

ARTICLE II

IMPROVEMENT CONSTRUCTION STANDARDS AND PROCEDURES

2.01 RECORDING OF FINAL PLAT

Developer shall be solely responsible for all platting of the property.

2.02 PERFORMANCE GUARANTY

- A. The Developer shall guarantee, for the sole benefit of the City that the Developer will perform all of its obligations not yet completed under this Agreement. The guaranty shall be in one of the forms specified by Post Falls Municipal Code as described in paragraphs 2.02.D.1, 2.02.D.2, or 2.02.D.3. During the term of this Agreement, the Developer may, with the written consent of the City; substitute for a performance guaranty submitted under this section another guaranty in the required amount and in one of the forms specified herein. The City may choose to not release surety less than 25% of the surety amount until all final project items are complete – including final as-builts and certification.
- B. The City Engineer may require a guaranty be established prior to any work within the existing rights of way commencing and prior to the Developer providing a guaranty for the purposes of recording the plat. The purpose of this guaranty is to allow the City remedy under Section 1.13.
- C. Amount of Guaranty: The guaranty shall be in an amount equal to 150% (one hundred fifty percent) of the estimated cost of all improvements, not including those to be constructed by private utilities. The estimated cost shall be determined as follows. The Developer shall submit for the City Engineer's approval a cost estimate for each improvement required by this Agreement. Before submitting the cost estimates, the Developer's engineer shall have prepared, documented and certified each cost estimate. The estimated cost of all improvements shall be the sum of the estimated cost as approved by the City Engineer.
- D. All guarantees shall include the City's standard "Evergreen Clause" or automatic renewal language, as follows:

"This type of surety is for an initial term that expires on _____. This type of surety shall automatically be extended without amendment for one year from the present or any future expiration date unless the company issuing the surety notifies the beneficiary in writing sent certified mail, return receipt requested, or by personal service, at least sixty (60) days prior to any expiration date that this surety will not be renewed.

1. PERFORMANCE BOND - The Developer may provide a performance bond from a company qualified by law to act as a surety in the State of Idaho. The bond shall be in a form approved by the City. The bond shall name the City as the sole obligee and the Developer as the principal.
2. ESCROW - The Developer may deposit funds in an escrow account with a bank or financial institution qualified by law to do business in the State of Idaho. The disbursement of the escrowed funds shall be governed by an escrow agreement in a form approved by the City.

3. LETTER OF CREDIT - The Developer may cause a bank or financial institution qualified by law to do business in the State of Idaho to issue an irrevocable letter of credit in a form approved by the City.

E. If the Developer is not in default under this Agreement, the City may allow a proportionate reduction in amount of the performance guaranty in increments not less than 25% of the surety amount, or the amount secured and the current estimated cost of the work remaining to be performed under this Agreement; provided, however, that the amount of the performance guaranty, or the amount secured thereby always shall be greater than or equal to the amount of the warranty guaranty required by Section 3.09.

F. As soon as one of the following occurs, the City shall release any performance guaranty which has not been used or encumbered under Section 1.13 as long as the warranty guaranty provides sufficient coverage as required by this Agreement or by law:

1. The final acceptance of all improvements and the posting of warranty guaranty as provided in Section 3.09.
2. The expiration of the warranty period as provided in Section 3.08.

2.03 PREREQUISITES TO CONSTRUCTION

The Developer shall not obtain permits for the construction of improvements or commence the construction of improvements until approval by all other agencies as required to construct the required improvements have been obtained and this Agreement has been completed and signed by the Developer and the City and all Engineering Inspection Fees have been paid as required by City ordinance or resolution. Appendix III to this Agreement is the Engineering Inspection Fee Summary.

2.04 ENGINEER

A. The Developer shall retain an Engineer of Record, licensed as a professional engineer under the laws of the State of Idaho, to design and administer the construction of the improvements, including preparing plans and specifications, inspecting and controlling the quality of work and preparing the as-built data. The Engineer shall perform the work described herein in accordance with the City's required procedures for consulting engineers.

B. The Developer shall inform the City of the name and mailing address of the Engineer of Record it has retained to perform the duties described in Subsection A of this section. Developer agrees that notice to the Developer and engineer at the addresses so specified regarding the performance of such duties shall constitute notice to the Developer. The Developer shall promptly inform the City of any change in the information required under this subsection.

2.05 PLANS AND SPECIFICATIONS

A. The Developer shall submit to the City, in such form as the City may specify all plans and specifications pertaining to the construction of the improvements.

- B. If the City requires soil tests, traffic studies or other tests and studies pertaining to the design of improvements, the Developer shall submit reports of the test results with the plans and specifications.
- C. The City may approve the plans and specifications as submitted, or indicate to the Developer deficiencies to be corrected to secure approval, within a reasonable time from the submission of all plans and specifications for the improvements. The City's approval of the plans and specifications is for general conformance with City Standards. The City will endeavor to provide a complete and thorough review of all plans and specifications; however, ultimate design and function remains the responsibility of the Developer. It shall be the responsibility of the Developer to correct errors and omissions found prior to final acceptance as provided in Section 3.01 of this Agreement.

2.06 QUALITY CONTROL PROGRAM

The Developer's Engineer of Record shall follow the City's project certification and quality control program when performing their duties to provide for certification of the construction work. The Engineer of Record shall be responsible, in charge of the quality control / inspection activities.

2.07 WORK SCHEDULE

- A. The Developer shall submit to the City, in such form as the City may specify, a work schedule, which shall be Appendix II to this Agreement.
- B. The construction schedule shall indicate the approximate percentage of work scheduled for completion at any given time. The schedule shall indicate starting and completion dates for each improvement, including City and private utility improvements.
- C. The City Engineer may require detailed and specific schedule for portions of the work deemed critical for continuation of City services.
- D. Contractor's offsite work schedule and efforts shall be to expedite the work, to minimize the inconvenience to the public.

2.08 MATERIALS

- A. The Developer shall submit, in such form as the City may specify, detailed information concerning all materials and equipment it proposes to incorporate into an improvement. All materials shall comply with the Post Falls Standards for Public Works Construction.
- B. Upon the City's request, the Developer shall submit samples of materials or equipment it proposes to incorporate into an improvement.
- C. The City may approve the materials and equipment, or indicate to the Developer unacceptable material and equipment within a reasonable time after submittal. The City's approval of material and equipment is for general conformance with City standards, alternate design and function remain the

responsibility of the Developer. It shall be the responsibility of the Developer to correct errors and omissions found subsequent to City approval. Substitutions may be considered subject to review and approval of the City Engineer.

2.09 GENERAL STANDARDS OF WORKMANSHIP

- A. The Developer shall construct all improvements in accordance with plans and specifications approved by the City, and with the terms, covenants, and conditions of this Agreement, including installation of street trees unless the developer elects to exercise the option to pay for the trees in accordance with Post Falls City Code 17.28.091 instead of installing them. The Developer shall not incorporate any material or equipment into an improvement unless the City has approved its use. Unless the City specifically agrees otherwise in writing, all materials, supplies, and equipment incorporated into an improvement shall be new.
- B. If, in the course of construction, conditions appear, which, in the exercise of reasonable engineering judgment, require a modification of, or substitution for, approved materials, equipment, plans, specifications or contracts to meet an acceptable standard of performance, the Developer shall make the modification or substitution. The City shall reasonably approve all such substitution.
- C. The Developer shall construct all facilities in the subdivision not otherwise subject to this Agreement in accordance with applicable statutes, ordinances and specifications.

2.10 PLACEMENT OF UTILITIES

The Developer shall place all utilities underground, except where this requirement is specifically waived under this Agreement. The City Engineer shall approve the alignment of City and private utilities.

2.11 WORK IN RIGHTS-OF-WAY

The Developer shall comply with all ordinances and secure all necessary permits and authorizations pertaining to work in public rights-of-way. The Developer shall co-ordinate and supervise the installation and construction of all utility improvements, including those not otherwise covered by this Agreement, in a manner that will prevent delays in City construction or other damage to the City and that will permit the City to properly schedule work that it will perform. The Contractor's offsite work schedule and efforts shall be to expedite the work, to minimize the inconvenience towards the public.

2.12 SURVEYOR

A person licensed as a professional land surveyor under the laws of the State of Idaho shall make all land surveys required for the completion of improvements under this Agreement.

2.13 REQUIRED REPORTING

- A. Quality Control

The Developer shall submit to the City regularly and promptly written reports certified by the Engineer describing the results of all tests and inspections required by the quality control program and all other test and inspection which the Developer may make.

- B. Construction Progress
If actual progress indicates that the Developer will not perform the work as scheduled, the Developer shall prepare and submit a revised schedule for the City's reasonable approval.
- C. Surveys
The Developer shall furnish promptly to the City copies of all final surveys required for the completion of the improvements.
- D. Well Logs/Test Hole Logs
The Developer shall furnish the City copies of all well and test hole logs required for any purpose during the Project.
- E. Express or implied approval by the City of any report or inspection shall not authorize any deviation from approved plans and specifications or from the terms of this Agreement unless such express approval notes such deviation.
- F. At the completion of construction prior to acceptance by the City, the Engineer of Record shall submit to the City a report certifying that the improvements were constructed in accordance with plans and specifications and that they meet standards established by the City. This certification shall include a cover letter with the engineer's professional stamp, followed by copies of all inspection records, test results, and construction quality control data as indicated within the City's Engineering Project Certification and Quality Control provision.

2.14 PROGRESS PAYMENTS

The Developer shall hold the City harmless against any claims made by Developer's contractors.

2.15 OBSERVANCE

- A. The Engineer of Record or their representatives shall attend regularly scheduled jobsite meetings with a City Representative, to review construction progress and inspection activities.
- B. The City may monitor the progress of the work and the Developer's compliance with this Agreement and perform any inspection or test, which it deems necessary to determine whether the work conforms to this Agreement. Such inspections or tests do not relieve the Developer from performing tests and inspections required by 2.13A.
- C. If the Developer fails to notify the City of inspections, tests and construction progress as required by Section 2.13, the City may require, at the Developer's expense, retesting, exposure of previous stages of construction, or any other steps

which the City deems necessary to determine whether the work conforms to this Agreement.

- D. Any monitoring, tests or inspections that the City orders or performs pursuant to this section are solely for the benefit of the City. The City does not undertake to test or inspect the work for the benefit of the Developer or any other person.

2.16 STOP WORK ORDERS

- A. If the City determines there is a substantial likelihood, based upon reasonable and substantial information, that the Developer will fail to comply, or if the Developer does fail to comply with this Agreement or the Developer and/or his contractors fail to comply with provisions of occupational health and safety standards promulgated by the State and Federal agencies or his actions present a threat to the public health and safety or the Engineer of Record fails to perform their inspection and quality control duties, the City may stop all further construction of improvements by issuing a stop work order regarding the nonconforming construction and notifying the Developer and its Engineer of the order.
- B. A stop work order shall remain in effect until the City approves:
 - 1. Arrangements made by the Developer to remedy the nonconformity; and
 - 2. Assurances by the Developer that future nonconformity's will not occur.
- C. The issuance of a stop work order under this section is solely for the benefit of the City. The City does not undertake to supervise the work for the benefit of the Developer or any other person. No suspension of work under this section shall be grounds for any action or claim against the City or for an extension of time to perform the work.
- D. The Developer shall include in all contracts for work to be performed, or materials to be used under this Agreement, the following provision:

The City of Post Falls, pursuant to a Construction Improvement Agreement on file with the City Clerk and incorporated by reference herein, has the authority to inspect all work or materials under this contract and to stop work in the event that the work performed under this Agreement fails to comply with any provision of the Construction Improvement Agreement. In the event that the City issues a stop work order, the contractor shall immediately cease all work and await further instructions from the Developer and City.

2.17 ACCESS

The City shall have access to all parts of the subdivision necessary or convenient for monitoring the Developer's performance, inspecting, surveying, testing or performing any other work.

2.18 MAINTENANCE

- A. Until the City accepts the improvements, the Developer shall maintain at his expense all road improvements within the Project that are necessary for access or service to property not owned by the Developer. For the purposes of this subsection, existing roads are roads that physically exist, as distinguished from mere rights-of-way dedicated for road purposes. The maintenance required by this subsection includes cleaning, effective dust control measures, snow removal and similar activities, but does not include repair, replacement or reconstruction, except if the need to repair, replace or reconstruct is caused by the Developer's activities or is required as a condition of this Agreement. If the Developer fails to maintain the road improvements, the City may either contract for the maintenance to be completed, or complete the maintenance by City forces and charge the Developer for all associated costs, including administration fees.
- B. The Developer shall repair or pay the cost of repairing damage to any improvement that occurs prior to the City's acceptance of the improvements, except for damage caused solely by the City, its agents, employees, or contractors. The Developer shall give reasonable notice to the City before undertaking the repair of any damaged improvement.

2.19 OPERATION OF IMPROVEMENTS PRIOR TO FINAL ACCEPTANCE

- A. Before final acceptance, the City may enter upon, inspect, control, and operate any improvement if the City determines that such action is necessary to protect the public's health, safety, and welfare.
- B. The action described in subsection A of this section shall not constitute the final acceptance of any improvement by the City, nor shall the action affect in any way the Developer's warranty under this Agreement.
- C. The Developer or his agents may not connect to or operate any City utilities without written consent from the City. No structure shall be occupied, nor shall any land use be established which requires a building or construction permit, until the improvements required by this Agreement or by applicable provisions of law have been accepted by the City or other responsible public agency or have been completed as required by this Agreement.

2.20 TIME

The Developer shall start work and complete construction of improvements required under this Agreement in accordance with the Developer's work schedule as approved by the City and attached as an Appendix to this Agreement.

ARTICLE III

FINAL ACCEPTANCE OF IMPROVEMENTS

3.01 PREREQUISITES TO ACCEPTANCE

The City shall not accept the improvements until all the requirements of Section 3.02 through 3.05 have been met.

3.02 SURVEY MONUMENTS AND AS-BUILT DRAWINGS

- A. Upon completing the improvements, the Developer shall replace lost lot corners and survey monuments per Idaho Code.
- B. No later than sixty (60) days after the final inspection and prior to final acceptance and certification under Section 3.06F, the Developer shall provide to the City as-built drawings in accordance with current City Engineer's Drawing Submittal Standards. The as-built drawings shall be certified by a professional engineer licensed under the laws of the State of Idaho to represent accurately the improvements as actually constructed.

3.03 CERTIFICATE OF COMPLIANCE

The Developer shall furnish the City with a certificate of compliance for the work performed under this Agreement, in the form prescribed in Paragraph 2.13F. Developer shall also certify that all private utility installation has been completed according to plan.

3.04 CERTIFICATE OF PAYMENT OF CONTRACTORS AND VENDORS

Prior to final acceptance, the Developer shall certify that all contractors and vendors have been paid and no liens or other claims have been recorded, and that he knows of no intent to file a claim or lien against the property, the improvement, the City or private utility improvements.

3.05 CONVEYANCE OF EASEMENTS AND RIGHTS-OF-WAY TO CITY

The Developer shall convey to the City any easement, rights-of-way, or other property interest necessary to allow access to the City improvements to operate, maintain, or repair the City improvements. The Developer may condition the conveyance upon the City's acceptance of the improvements.

3.06 INSPECTION

- A. Upon receiving notice that the Developer has completed the improvements, the City shall schedule inspections of the improvements. The City may inspect all improvements and any other work in dedicated easements or rights-of-way.
- B. A privately owned utility may inspect any phase of work on an improvement of which it is to assume control.
- C. The City or appropriate privately owned utility shall inform the Developer in writing of any deficiencies in the work found in the course of the inspection.

- D. The Developer shall, at its own expense, correct all deficiencies found by inspections under Subsection A or B of this section. Upon receiving notice that the deficiencies have been corrected, the City, or appropriate privately owned utility shall re-inspect the improvements.
- E. The City or appropriate privately owned utility may continue to re-inspect an improvement until the Developer has corrected all deficiencies in the improvement.
- F. After final inspection has revealed that all improvements and other work in dedicated easements and rights-of-way meet City standards and the Developer has furnished the as-built drawings required in Section 3.02B, and project certification required by Section 3.03, and upon written request by the Developer, the City Engineer shall submit to the Post Falls City Council a recommendation for final acceptance of the improvements.

3.07 CONSEQUENCES OF ACCEPTANCE OF IMPROVEMENTS

- A. The City's final acceptance of the City improvements constitutes a grant to the City of all the Developer's right, title, and interest in and to the City improvements.
- B. Upon final acceptance of the improvements, the City will maintain said improvements, except regarding the Developer's obligations covered by warranty in Section 3.08.

3.08 DEVELOPER'S WARRANTY

- A. The Developer shall warrant the design, construction materials and workmanship of the improvements against any failure or defect in design, construction, material or workmanship which is discovered for one (1) year, except for sewer systems which shall be warranted until such time as the number of active users on the system reaches twenty percent (20%) of the approved user design capacity, but not less than one (1) year or longer than three (3) years. This warranty shall cover all direct or indirect costs of repair or replacement, and damage to the property, improvements or facilities of the City or any other person, caused by such failure or defect or in the course of repairs thereof, and any increase in cost to the City of operating and maintaining a City improvement resulting from such failures, defects or damages. The warranty period for the project shall begin upon the satisfaction and final acceptance of all improvements.
- B. The Developer's warranty shall not extend to any failure or defect caused solely by changes in design, construction or materials required by the City.
- C. Except as provided in Subsection B of this section, the fact that the City takes any action, or omits to take any action authorized in this Agreement including, but not limited to, operation or routine maintenance of the improvements prior to acceptance or surveillance, inspections, review or approval of plans, tests or reports shall in no way limit the scope of the Developer's warranty.

3.09 WARRANTY GUARANTY

To secure the Developer's performance of the warranty under Section 3.08, the performance guaranty provided by the Developer under Section 2.02 shall remain in effect until the end of the warranty period, or the Developer shall provide a warranty guaranty by one or more of the methods described in Section 2.02, determined by the following table:

<u>Actual Cost of All Improvements</u>	<u>Percent to Secure Warranty</u>
Less than \$500,000.00	10.0%
\$500,000.00 - \$1,000,000.00	7.5%
Over \$1,000,000.00	5.0%

3.10 CITY'S REMEDIES UNDER WARRANTY

- A. The City shall notify the Developer in writing upon its discovery of any failure or defect covered by the warranty in Section 3.08. The City shall notify the Developer before conducting any test or inspections to determine the cause of failure or defect to the extent the circumstances will allow and shall notify the Developer of the results of all such tests and inspection.
- B. The Developer shall correct or make a diligent effort to correct any failure or defect covered by the warranty within thirty (30) days of receiving notice of the failure or defect from the City. The Developer shall correct the failure or defect at its own expense and to the satisfaction of the City.
- C. If the Developer fails to correct the failure or defects within the time allowed by Subsection B of this section, the City may correct the failure or defect at the Developer's expense. If the Developer fails to pay the City for the corrective work within thirty (30) days of receiving the City's bill, the City may pursue any remedy provided by law or this Agreement to recover the cost of the corrective work, including calling upon the Developer's security. The City's attorney's fees in pursuit of such remedy shall be an allowed cost.
- D. In case of an emergency affecting public health and safety, the City may make immediate required repairs and shall notify the Developer and contractor as quickly as possible.

3.11 CONDITIONS OF REIMBURSEMENT

- A. If this Agreement requires the City to reimburse the Developer for all or part of the cost of an improvement, the reimbursement shall be conditioned upon the Developer's performance of all its obligations under this Agreement. Reimbursement shall be limited to that work described herein.
- B. Any reimbursement shall be subject to the approval of bonds and/or the appropriation of funds as required by law. If funds are not available at the time any reimbursement is due under this Agreement, the City shall reimburse the Developer when funds become available. The City shall not be liable for any delay in reimbursing the Developer due to the unavailability of funds, nor shall such delay constitute a breach of this Agreement.

IN WITNESS WHEREOF, the parties hereto have set their hands on the date first set forth above.

CITY OF POST FALLS

DEVELOPER

BY: _____
Ronald Jacobson, Mayor

BY: _____

ATTEST:

WITNESS:

Shannon Howard - City Clerk

Print Name:

- ATTACHMENT A: PROPERTY DESCRIPTION
- ATTACHMENT B: DESCRIPTION OF IMPROVEMENTS
- ATTACHMENT C: COST ESTIMATES
- ATTACHMENT C-1: DETAILED COST ESTIMATES
- ATTACHMENT D: EVIDENCE OF SURETY

- APPENDIX I: CONSTRUCTION PLANS AND SPECIFICATIONS
- APPENDIX II: CONSTRUCTION SCHEDULE
- APPENDIX III: PUBLIC WORKS INSPECTION SUMMARY
- APPENDIX IV: STREET LIGHT DESCRIPTION
- APPENDIX V: CALCULATION OF UTILITY FEES PRE-EXISTING RESIDENCE(S)
- APPENDIX VI: CITY WATER CAP & METER FEES
- APPENDIX VII: ENGINEER OF RECORD DECLARATION
- APPENDIX VIII: ENGINEERING CERTIFICATE OF COMPLIANCE
- APPENDIX IX: CERTIFICATION OF PAYMENT OF CONTRACTORS AND VENDORS
- APPENDIX X: CASH IN LIEU OF PLANTING TREES

DEVELOPER ACKNOWLEDGMENT

STATE OF IDAHO)
)
:SS
County of Kootenai)

On this ___ day of ____, 20____, before me, a Notary for the state of Idaho, personally appeared _____, known, or identified to me to be the _____ of the _____ that executed this instrument, or the person who executed the instrument on behalf of said _____, and acknowledged to me that such _____ executed the same.

IN WITNESS WHEREOF, I have hereto set my hand and affixed my official seal the date and year in this certificate first above written.

Notary Public for the State of Idaho
Residing at: _____
Commission Expires: _____

CITY ACKNOWLEDGMENT

STATE OF IDAHO)
)
:SS
County of Kootenai)

On this ___ day of _____, 20___ before me, a Notary for the state of Idaho, personally appeared **Ronald Jacobson** and **Shannon Howard** known, or identified to me to be the **Mayor** and **City Clerk** respectively, of the city of Post Falls, Kootenai County, Idaho, executing the herein instrument, and acknowledged to me that such City of Post Falls executed the same.

IN WITNESS WHEREOF, I have hereto set my hand and affixed my official seal the date and year in this certificate first above written.

Notary Public for the state of Idaho
Residing at: _____
Commission Expires: _____

ATTACHMENT "A"
PROPERTY DESCRIPTION
FOR

Foxtail 7th Addition

Developer to submit legal property description and reduced copy of plat.

ATTACHMENT "A"

PLAT BOUNDARY LEGAL DESCRIPTION – FOXTAIL 7

THAT PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 51 NORTH, RANGE 4 WEST, BOISE MERIDIAN, CITY OF POST FALLS, KOOTENAI COUNTY, IDAHO; TOGETHER WITH THAT PART OF TRACT 27 OF THE PLAT OF POST FALLS IRRIGATED TRACTS, ACCORDING TO THE PLAT THEREOF FILED FOR RECORD IN BOOK "C" OF PLATS, PAGE 78, RECORDS OF KOOTENAI COUNTY, IDAHO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER OF SECTION 30, SAID POINT BEING MONUMENTED BY A 2" ALUMINUM CAP; THENCE NORTH 88°56'57" WEST, ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER, 820.52 FEET TO A POINT ON THE WEST LINE OF THE PLAT OF FOXTAIL 4TH ADDITION, ACCORDING TO THE PLAT THEREOF FILED FOR RECORD IN BOOK "L", PAGES 414, 414A, 414B, 414C AND 414D, RECORDS OF KOOTENAI COUNTY, IDAHO; THENCE NORTH 01°03'03" EAST, ALONG THE WEST LINE OF SAID FOXTAIL 4TH ADDITION, 35.00 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF HOPE AVENUE, SAID POINT BEING MONUMENTED BY A 5/8" REBAR AND PLASTIC CAP PLS 9367 AND THE **TRUE POINT OF BEGINNING**;

THENCE ALONG THE WEST LINE OF SAID FOXTAIL 4TH ADDITION THE FOLLOWING COURSES AND DISTANCES:

SOUTH 01°03'03" WEST 85.00 FEET, SAID POINT BEING MONUMENTED BY A 5/8" REBAR AND PLASTIC CAP PLS 9367;

SOUTH 01°22'39" WEST 144.61 FEET, SAID POINT BEING MONUMENTED BY A 5/8" REBAR AND PLASTIC CAP PLS 9367;

NORTH 88°33'14" WEST 11.29 FEET, SAID POINT BEING MONUMENTED BY A 5/8" REBAR AND PLASTIC CAP PLS 9367;

SOUTH 01°26'46" WEST 175.00 FEET, SAID POINT BEING MONUMENTED BY A 5/8" REBAR AND PLASTIC CAP PLS 9367;

SOUTH 88°33'14" EAST 75.00 FEET, SAID POINT BEING MONUMENTED BY A 5/8" REBAR AND PLASTIC CAP PLS 9367;

SOUTH 01°26'46" WEST 175.00 FEET, SAID POINT BEING MONUMENTED BY A 5/8" REBAR AND PLASTIC CAP PLS 9367;

SOUTH 88°33'14" EAST 22.41 FEET, SAID POINT BEING MONUMENTED BY A 5/8" REBAR AND PLASTIC CAP PLS 9367;

SOUTH 01°26'46" WEST 120.00 FEET, TO A POINT ON THE NORTH LINE OF BLOCK 16 OF THE PLAT OF FOXTAIL 3RD ADDITION, ACCORDING TO THE PLAT THEREOF FILED FOR RECORD IN BOOK "L", PAGES 224, 224A, 224B, 224C AND 224D, RECORDS OF KOOTENAI COUNTY, IDAHO;

THENCE ALONG THE NORTH LINE OF SAID BLOCK 16 THE FOLLOWING COURSES AND DISTANCES:

NORTH 88°33'41" WEST 360.00 FEET, SAID POINT BEING MONUMENTED BY A 5/8" REBAR AND PLASTIC CAP PLS 9367;

NORTH 89°01'43" WEST 55.00 FEET, SAID POINT BEING MONUMENTED BY A 5/8" REBAR AND PLASTIC CAP PLS 9367;

SOUTH 00°58'41" WEST 29.66 FEET, SAID POINT BEING MONUMENTED BY A 5/8" REBAR AND PLASTIC CAP PLS 9367;

NORTH 89°01'42" WEST 170.00 FEET, TO A POINT ON THE WEST LINE OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, SAID POINT BEING MONUMENTED BY A 5/8" REBAR AND PLASTIC CAP PLS 9367;

THENCE NORTH 00°58'41" EAST 692.72 FEET TO THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER;

THENCE NORTH 01°20'38" EAST 20 FEET TO THE SOUTHWEST CORNER OF SAID TRACT 27;

THENCE CONTINUING NORTH 01°20'38" EAST, ALONG THE WEST LINE OF SAID TRACT 27, A DISTANCE OF 15.00 FEET TO A POINT WHICH BEARS NORTH 88°56'57" WEST FROM THE TRUE POINT OF BEGINNING;

THENCE SOUTH 88°56'57" EAST 503.61 FEET TO THE TRUE POINT OF BEGINNING.

CONTAINING 8.606 ACRES, MORE OR LESS.

ATTACHMENT "B"
DESCRIPTION OF IMPROVEMENTS
TO BE CONSTRUCTED AND INSTALLED BY

Coeur Development, LLC

FOR

Foxtail 7th Addition

- Street surfacing or infill paving
- Monumentation
- Electric
- Curbs and gutters
- Street lighting
- Gas
- Sidewalks
- Telephone
- Drainage
- Street Signs (Replacement)
- Cable TV
- Water
- Landscaping (Swales)
- Sanitary Sewer
- Improvements shown on construction plans attached as Appendix I to this Agreement
- Other – as follows:

ATTACHMENT "B"

ATTACHMENT "C"
COST ESTIMATES
FOR

Foxtail 7th Addition

The estimated total cost of the improvements submitted by the Developer and approved by the City Engineer are as follows:

1. Public improvements to be owned operated and maintained by the City of Post Falls: **\$ 425,974.18**
2. Public utilities to be owned, operated and maintained by a utility other than the City of Post Falls: **\$ 112,213.00**
3. Other improvements for which bonding is required: **\$ -0-**
4. Street trees within public right-of-way: **\$ 36,600.00**
5. Total cost of improvements: **\$ 574,787.18**
6. Warranty amount: **\$ 43,109.04**

ATTACHMENT "C"

ATTACHMENT "C-1"
DETAILED COST ESTIMATES
FOR

Foxtail 7th Addition

Developer to submit detailed cost estimates.

ATTACHMENT "C-1"

Foxtail 7th Addition
Engineer Estimate - CIA
 December 28, 2021

Item No.	Description & Cost Code	Quantity	Units	Unit Price	Percent Complete	Total Price
6200 - Site Preparation/Grading						
<u>6205 - Clearing & Grubbing</u>						
1	Mobilization	1	LS	\$10,000.00	0%	\$10,000.00
2	AC Sawcut	200	LF	\$6.00	0%	\$1,200.00
6210 - Excavation & Grading						
1	Road Subgrade Prep	7,722	SY	\$1.25	0%	\$9,652.50
2	Finish Grading (replace topsoil openspace)	500	CY	\$8.00	0%	\$4,000.00
3	Construction Entrance	1	EA	\$1,500.00	0%	\$1,500.00
4	Inlet Protection	4	EA	\$50.00	0%	\$200.00
5	Concrete Washout Area	1	EA	\$400.00	0%	\$400.00
6	Silt Fence	600	EA	\$3.00	0%	\$1,800.00
6250 - Sewer						
<u>6250 - Sewer</u>						
1	10" PVC Sanitary Sewer	70	LF	\$60.00	0%	\$4,200.00
2	8" PVC Sanitary Sewer	1,002	LF	\$32.00	0%	\$32,064.00
3	Remove 10" Cleanout	1	EA	\$750.00	0%	\$750.00
4	48" Manholes	6	EA	\$3,100.00	0%	\$18,600.00
5	Sewer Services	26	EA	\$995.00	0%	\$25,870.00
						\$81,484.00

Foxtail 7th Addition
Engineer Estimate - CIA
 December 28, 2021

Item No.	Description & Cost Code	Quantity	Units	Unit Price	Percent Complet	Total Price
6300 - Stormwater						
6300 - Stormwater						
1	Drainage Curb Cut	13	EA	\$175.00	0%	\$2,275.00
2	Sidewalk Underdrain (Separated Sidewalk)	3	EA	\$1,350.00	0%	\$4,050.00
3	Concrete Inlet (4' wide Concrete Sidewalk)	3	EA	\$450.00	0%	\$1,350.00
4	Catch Basin	2	EA	\$1,350.00	0%	\$2,700.00
5	10" PVC Storm Pipe	52	LF	\$45.00	0%	\$2,340.00
6	Drywell Type A (Single)	4	EA	\$2,500.00	0%	\$10,000.00
						\$22,715.00

6350 - Water						
6350 - Water System						
1	8" PVC Water Main	1,027	LF	\$24.00	0%	\$24,648.00
2	8" Fittings	6	EA	\$700.00	0%	\$4,200.00
3	8" Gate Valve w/ Box	2	EA	\$1,560.00	0%	\$3,120.00
4	1" Water Services	27	EA	\$1,815.00	0%	\$49,005.00
5	Fire Hydrant Assemblies	2	EA	\$5,150.00	0%	\$10,300.00
6	4" Sleeve under sidewalk at water meter	29	EA	\$60.00	0%	\$1,740.00
						\$93,013.00

6400 - Streets & Walkways						
6405 - Streets, Curbs, & Gutter						
						\$180,226.25

Foxtail 7th Addition
Engineer Estimate - CIA
 December 28, 2021

Item No.	Description & Cost Code	Quantity	Units	Unit Price	Percent Complete	Total Price
1	Asphalt Roadway 3" AC over 6" Base	3,927	SY	\$19.25	0%	\$75,594.75
2	Asphalt Roadway 2" AC over 4" Base	3,794	SY	\$13.75	0%	\$52,167.50
3	Rolled Curb and Gutter	2,098	LF	\$16.00	0%	\$33,568.00
4	Standard Curb and Gutter	1,181	LF	\$16.00	0%	\$18,896.00

6410 - Sidewalks

1	5' Concrete Sidewalk	10,705	SF	\$4.50	0%	\$48,172.50
2	Pedestrian Ramps	8	EA	\$1,295.00	0%	\$10,360.00
						\$58,532.50

6415 - Pathways & Trails

1	Asphalt Paths 10' wide (2" AC over 4" Base)	1,213	SY	\$16.00	0%	\$19,408.00
2	Asphalt Path Subgrade Prep	1,213	SY	\$1.25	0%	\$1,516.25
						\$20,924.25

6450 - Utilities - Dry

<u>6450 - Dry Utilities</u>						
1	Dry Utilities Trenching (Ex, Bed, and Backfill only)	3,200	LF	\$6.00	0%	\$19,200.00
						\$19,200.00

6500 - Signage, Striping, Mailboxes

						\$42,589.68
--	--	--	--	--	--	--------------------

6505 - Landscaping

Foxtail 7th Addition
Engineer Estimate - CIA
 December 28, 2021

Item No.	Description & Cost Code	Quantity	Units	Unit Price	Percent Complet	Total Price
1	Public Street Trees	61	EA	\$600.00	0%	\$36,600.00
2	Hydroseed ROW and Common Area	33,276	SF	\$0.18	0%	\$5,989.68

6520 - Signage **\$25,700.00**

1	Pavement Marking	1	LS	\$10,000.00	0%	\$10,000.00
2	Signage	6	EA	\$500.00	0%	\$3,000.00
3	Type II Barricades	0	EA	\$700.00	0%	\$0.00
4	Type III Barricades	4	EA	\$700.00	0%	\$2,800.00
5	Cobra Head Street Light	5	EA	\$1,500.00	0%	\$7,500.00
6	Town & Country Street Light	2	EA	\$1,200.00	0%	\$2,400.00

6525 - Mailboxes **\$1,650.00**

1	Concrete Mailbox Pad	2	EA	\$630.00	0%	\$1,260.00
2	CBU Mailbox Installation	2	EA	\$195.00	0%	\$390.00

TOTAL **\$574,787.18**

ATTACHMENT "D"
EVIDENCE OF SURETY
FOR

Foxtail 7th Addition

The Developer will be performing the majority of required improvements prior to filing the plats. A surety company will post surety acceptable to the City for the remaining improvements per Section 2.02.

ATTACHMENT "D"

APPENDIX I
TO THE CONSTRUCTION IMPROVEMENT AGREEMENT
BETWEEN THE CITY OF POST FALLS AND

Coeur Development, LLC

FOR

Foxtail 7th Addition

CONSTRUCTION DRAWINGS

Plans Titled: **Foxtail 7th Addition**

Dated: _____

By: **Coeur Development, LLC – Gabe Gallinger, P.E.**

Sheets 1 through 35

APPENDIX II
TO THE CONSTRUCTION IMPROVEMENT AGREEMENT
BETWEEN THE CITY OF POST FALLS AND

Coeur Development, LLC

FOR

Foxtail 7th Addition

CONSTRUCTION SCHEDULE

Developer to submit a construction schedule.

Peck & Peck

EXCAVATING, INC.



COMPLETE EXCAVATING SERVICES
LICENSED & BONDED
3386 N. Highway 41 · Post Falls, ID 83854
(208) 773-6559 · Fax (208) 773-3431

Foxtail 7th Addition

<u>Week</u>	<u>Activity</u>
2-28	<i>Sewer Main</i>
3-7	<i>Sewer Main</i>
3-14	<i>Sewer Main and Services</i>
3-21	<i>Sewer Services</i>
3-28	<i>Water Main</i>
4-4	<i>Water Services</i>
4-11	<i>Water Services</i>
4-18	<i>Storm</i>
4-25	<i>Dry Utility Crossings</i>
5-2	<i>Curbs and Walks</i>
5-9	<i>Curbs and Walks</i>
5-16	<i>Subgrade Prep</i>
5-23	<i>Pave</i>
5-30	<i>Dry Utility Ditch and Clean up</i>

APPENDIX III
TO THE CONSTRUCTION IMPROVEMENT AGREEMENT
BETWEEN THE CITY OF POST FALLS AND

Coeur Development, LLC

FOR

Foxtail 7th Addition

ENGINEERING SERVICES FEE SUMMARY

To be determined by the City of Post Falls, Engineering Division, based on quantity of improvements and current fee schedule.

29 Lots X \$350.00 = \$ 10,150.00

APPENDIX IV
TO THE CONSTRUCTION IMPROVEMENT AGREEMENT
BETWEEN THE CITY OF POST FALLS AND

Coeur Development, LLC

FOR

STREET LIGHT CHARGES

Per Section 1.10 E of the Agreement, the Developer reimburses the City for street light charges for a period of 12 months. The street light charges are determined as follows:

Street light utility provider: **Kootenai Electric Cooperative**

Street light type: **LED Cobra Head**

5 lights X 12 months X \$ 35.00 per month = \$ 2100.00

Street light type: **LED Town & Country**

2 lights X 12 months X \$ 25.25 per month = \$ 606.00

TOTAL = \$ 2706.00

APPENDIX V
TO THE CONSTRUCTION IMPROVEMENT AGREEMENT
BETWEEN THE CITY OF POST FALLS AND

Coeur Development, LLC

FOR

Foxtail 7th Addition

 X This project does not have any existing structures connecting to the City of Post Falls Sanitary Sewer System.

Sanitary sewer cap fee of \$ _____ to connect **existing structures** to City sanitary sewer.

_____ (# of SF homes) x \$5,983.00	=	\$ _____
_____ (# of Commercial service units) x \$5,983.00	=	\$ _____
_____ (# of structures connecting) x (Utility Deposit = \$60.00)	=	\$ _____

SEWER CAP FEES

1 Wastewater Flow (5,000 Gallons)	\$5,983.00
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APPENDIX VI
TO THE CONSTRUCTION IMPROVEMENT AGREEMENT
BETWEEN THE CITY OF POST FALLS AND

Coeur Development, LLC

FOR

Foxtail 7th Addition

X This project does not have any existing structures or proposed common area irrigation systems connecting to the City of Post Falls Water System.

Total water cap & meter fees \$_____ for existing structures or irrigation service to common areas.

Fees to be determined based upon service size & meter size.

Water Cap Fees

_____	x	3/4" – 1"	= \$3,773.99 Residential	=	\$ _____
_____	x	1"	= \$6,289.99 Commercial	=	\$ _____
_____	x	1-1/2"	= \$12,579.97	=	\$ _____
_____	x	2"	= \$20,127.96	=	\$ _____

Meter Fees

_____	x	3/4"	= \$ 254.00	=	\$ _____
_____	x	1"	= \$ 325.00	=	\$ _____
_____	x	1-1/2"	= \$ 691.00	=	\$ _____
_____	x	2"	= \$ 920.00 (flow meter for irrigation only)	=	\$ _____
_____	x	2"	= \$ 1,864.00 (compound meter)	=	\$ _____

ACCOUNT FEES

_____ (# of irrigation service connections) x Utility Deposit \$10 = \$_____

APPENDIX VII
TO THE CONSTRUCTION IMPROVEMENT AGREEMENT
BETWEEN THE CITY OF POST FALLS AND

Coeur Development, LLC

FOR

Foxtail 7th Addition

ENGINEER OF RECORD DECLARATION:

The Engineer of Record for the project is established as:

ENGINEER NAME: **Gabe Gallinger, P.E.**
ENGINEERING FIRM: **Coeur Development, LLC**
ADDRESS: **1859 N. Lakewood Dr. #200**
CITY: **Coeur D'Alene** STATE: **ID** ZIP: **83814**
PHONE NO.: **(509) 991-9033**
E-MAIL ADDRESS: **gabe@thinklakeside.com**

APPENDIX VIII
TO THE CONSTRUCTION IMPROVEMENT AGREEMENT
BETWEEN THE CITY OF POST FALLS AND

Coeur Development, LLC

FOR

Foxtail 7th Addition

ENGINEERING OF RECORD CERTIFICATION:

Certification Statement

I _____ certify that construction observation and quality control for (project, plans with approval date) was performed under my responsible charge. It is my professional opinion that the project was constructed in accordance with the intent of the plans and specifications. The submittal of as-built drawings and the attached documentation within the certification packet provide evidence to support a recommendation of acceptance of the public infrastructure associated with the referenced project plans and specifications.

(Provide Engineer's seal, signature and date.)

APPENDIX IX
TO THE CONSTRUCTION IMPROVEMENT AGREEMENT
BETWEEN THE CITY OF POST FALLS AND

Coeur Development, LLC

FOR

Foxtail 7th Addition

CERTIFICATE OF PAYMENT OF CONTRACTORS AND VENDORS:

State of Idaho)
)
) :SS
County of Kootenai Kootenai)

I, _____, hereby certify under oath that all contractors, subcontractors and vendors that have performed work and provided supplies for the construction of the subdivisions public improvements relating to _____, including individuals or firms providing design services or legal services, have been paid in full and that no liens or other claims have been recorded against the real property of the Subdivision for those services.

I further certify that I know of no intent to file a claim or lien against the public improvements or any private utility improvements.

Signature

Print Name

SUBSCRIBED AND SWORN TO before me this ____ day of _____,
20_____.

Notary for the state of Idaho _____
Residing at: _____
Commission Expires: _____

APPENDIX X
TO THE CONSTRUCTION IMPROVEMENT AGREEMENT
BETWEEN THE CITY OF POST FALLS AND

Coeur Development, LLC

FOR

CASH IN LIEU OF PLANTING STREET TREES

X The Developer agrees to plant street trees approved in the Landscaping Plan and will not utilize the Cash In Lieu of Planting Street Trees option.

_____The Developer agrees to cash out the obligated street trees approved in the Landscaping Plan, in lieu of planting the street trees for the project. Cashout shall be paid to the City of Post Falls in the amount of \$_____, and is based upon _____ trees x \$400.00/each, as outlined per Section 2.12 A of the Agreement and City Ordinance No. 1217.

**CITY OF POST FALLS
AGENDA REPORT
CONSENT AGENDA
MEETING DATE: JANUARY 18, 2022**

DATE: JANUARY 11, 2022
TO: HONORABLE MAYOR AND CITY COUNCIL
FROM: BILL MELVIN – CITY ENGINEER
SUBJECT: FRONTAGE IMPROVEMENT WAIVER REQUEST – 1206 N. WILLIAM STREET

ITEM AND RECOMMENDED ACTION: With approval of the Consent Agenda, City Council approves the waiver of frontage improvements request for 1206 N. William St.

DISCUSSION: Keith Rector has requested a waiver of frontage improvements (sidewalk, curb and gutter, etc.) in front of the property located at 1206 N. William St.

ITEM / PROJECT PREVIOUSLY REVIEWED BY COUNCIL ON: N/A

APPROVED OR DIRECTION GIVEN: Staff has reviewed the site and recommends that the waiver be conditionally approved as there are no existing improvements in the vicinity. The owner will be required, however, to asphalt/concrete the existing driveway to the street.

FISCAL IMPACT OR OTHER SOURCE OF FUNDING: N/A

BUDGET CODE: N/A

SUPPORTING DOCUMENTS: Original request for waiver and map of location attached.



ENGINEERING DIVISION

FRONTAGE IMPROVEMENTS WAIVER REQUEST

\$150.00 Waiver Request Fee

APPLICANT INFORMATION:

Name: Keith Rector Phone No: 208 691 3427 Fax No: N/A

Address: 1206 N William St E-Mail Address: rctoman11@gmail.com

City: Post Falls State: ID Zip: 83854

Contact: Pat Rector Phone: 208 691-3427 Fax: N/A

SITE INFORMATION:

- Include (1) one copy of property site map.

Property Address: 1206 N William St, Post Falls, ID

General Location: 12th St., Post Falls, ID

Describe frontage improvements for waiver consideration, and reason for request:

Request waiver for curb, gutter, sidewalks, swale, etc, improvements. This would be only property with said improvements and would not conform or be aesthetically pleasing to surrounding properties.

Upon submittal and approval of this application, I acknowledge I will not protest a future local improvement district establishment of the improvements.



1206 N William St
Post Falls, ID

Google

Image capture: Sep 2021 © 2022 Goog



1206 N William St

Visual matches



1206 N William St Post Falls ID , X



Show search results for 1206 N Willia...

N WILLIAM ST



aerial photo →

20ft



1206 N William St Post Falls ID X Q

Show search results for 1206 N Willia...



CITY OF POST FALLS
AGENDA REPORT
Consent Calendar
MEETING DATE: 1/18/2022

DATE: 1/13/2022 8:09 AM
TO: HONORABLE MAYOR AND CITY COUNCIL
FROM: Amber Blanchette
SUBJECT: Millworx Site Plan Master Development Agreement File No. SPR-0023-2021

ITEM AND RECOMMENDED ACTION:

With approval of the Consent Calendar, City Council authorizes the Mayor's signature for the Master Development Agreement on the Millworx Site Plan.

DISCUSSION:

The applicant, Ryan Ruffcorn, request the city staff to review the Site Plan for Millworx of which triggered a Master Development Agreement, on June 22, 2021. The Site Plan has been approved and stamped by all departments on January 6, 2022 (see Exhibit C).

ITEM / PROJECT PREVIOUSLY REVIEWED BY COUNCIL ON:

N/A

APPROVED OR DIRECTION GIVEN:

N/A

FISCAL IMPACT OR OTHER SOURCE OF FUNDING:

N/A

BUDGET CODE:

N/A

MASTER SITE PLAN AND DEVELOPMENT AGREEMENT

A&A Construction-Millworx Master Plan

(File No. SPR-0023-2021)

THIS AGREEMENT is made this ___ day of _____, 2021, by and between the **City of Post Falls**, a municipal corporation organized and existing pursuant to the laws of the State of Idaho, with its principal place of business at 408 N. Spokane Street, Post Falls, ID (the “City”), and **A & A Construction & Development, Inc.**, a Washington Corporation, with its principal place of business at 621 W. Mallon Avenue, Suite 509, Spokane WA 99201 (the “Owner”). City and Owner are collectively referred to as the “Parties.”

WHEREAS A & A Construction & Development, Inc. owns approximately 12.9 acres of real property in fee simple within the city limits of the City of Post Falls as described and depicted in the legal description attached as *Exhibit “A”* (the “Property”), which the Owner wishes to develop into a mixed use commercial and residential project commonly known as Millworx pursuant to the Millworx Master Plan attached as *Exhibit “B”* (the “Project”); and

WHEREAS, the Mayor and City Council of the City have determined it to be in the best interests of the City to enter into an agreement with the Owner to establish conditions governing the development of the Property.

NOW THEREFORE, IN CONSIDERATION of the covenants and conditions set forth herein, the parties agree as follows:

ARTICLE I: PURPOSE AND DESCRIPTION OF PROPERTY

- 1.1. Purpose: Owner enters into this Agreement in order to obtain certainty concerning the development entitlements for the Property, which the Owner wishes to develop as a mixed use commercial and residential project while the City seeks to obtain certainty that Owner will meet the requirements of City while developing the Property in multiple phases, which may include platting or condominium platting, and to ensure that the City has the capacity to serve its residents after the Property is developed. Owner acknowledges that City has no duty to enter into this Agreement and that the promises of Owner contained in this Agreement are an inducement for City to do so. The term “Owner” includes any successor in interest in the Property or the development rights of related to the Property.
- 1.2. Description of the Property: The Property is generally located south of East Fourth Avenue, north of the Centennial Trail, east of the west right of way line of the undeveloped North Idaho Street and west of the Woodland Apartment Complex, as more particularly described and depicted in Exhibit “A”.

ARTICLE II: STANDARDS

- 2.1 Construct to City Standards: Owner agrees that all improvements required by this Agreement or by City codes will be built to City standards or to the standards of any public agency providing service to the Property. Owner agrees to adhere to all City policies and procedures; including, but not limited to sanitary sewer improvements, water lines, fire hydrants, parks, flood works, storm water management, curbs, sidewalks, street trees, streetlights, pedestrian/bicycle facilities and roads. Such policies include extending utility lines in a manner acceptable to the City to make service available to adjoining lands and limitations on gaining site access from arterial and collector roadways.
- 2.2. Applicable Standards: Owner agrees that all laws, standards, policies, and procedures regarding public improvement construction that the Owner is required to comply with or otherwise meet pursuant to this Agreement or City codes are those in effect when construction is commenced. If Owner fails to comply with applicable laws in the course of constructing improvements, public or otherwise, on the Property, the Owner consents to the City withholding further development approvals for the Property including, but not limited to, building permits, certificates of occupancy, site plan approval, and subdivision approval until such compliance is attained.
- 2.3. Inspection and Testing: Owner agrees that it will retain the services of a civil engineer, licensed by the State of Idaho, to perform construction inspection and testing during the construction of all public improvements on the Property. Owner agrees to provide copies of all field inspection reports and test results to the City Engineer accompanied by a certification that the improvements have been installed in compliance with applicable City requirements prior to requesting that the City accept the public improvements for ownership and maintenance. The inspection, testing and certification reports must be provided at no cost to the City. Owner agrees that a representative of the City must be present at the pressure testing of water mains and sanitary sewer mains. Owner agrees to provide the City with at least twenty-four (24) hours-notice before such testing.
- 2.4. As-Built Drawings: Owner agrees to provide accurate “as-built” drawings of public improvements to the City within thirty (30) days of the date of substantial completion of construction of any public improvement on the Property. If as-builts are not provided as required by this Agreement, the Owner agrees that the City may withhold further development approvals for the Property as provided in Section 2.2. The Owner understands and agrees that the City will not accept public improvements for maintenance or allow occupancy of constructed improvements on the Property until accurate “as-builts” are provided and until planned improvements have complied with the inspection requirements contained in Section 2.3 and have been accepted for public maintenance or approved for private use.

ARTICLE III. UTILITIES AND PUBLIC SERVICES

- 3.1 Water: The Owner agrees to use the Post Falls municipal water supply system as the domestic water supply system for all development of the Property and to be responsible for all required fees and charges including all connection and/or capitalization charges

generally applicable at the time service is requested. Domestic water will be provided in accordance with rules and regulations of the City.

- 3.2. Wastewater Reclamation: The Owner agrees to use the Post Falls Sanitary Sewer system for all development of the Property and to be responsible for all required fees and charges including all connection and/or capitalization charges generally applicable at the time service is requested. Sanitary sewer service will be provided in accordance with rules and regulations of the City.
- 3.3. Maintenance of Private Sanitary Sewer and Water Lines: The Owner acknowledges that the City is not responsible for maintenance of any private sanitary sewer lines or water lines, including appurtenances, within the Property.
- 3.4. Size of Water and Sewer Mains: The Owner agrees on-site water and sewer mains will be adequately sized to provide service to the Property as reasonably determined by the City based on adopted City master plans. Owner acknowledges that it may be required to oversize the mains or to construct the mains with increased depth beyond the size/depth needed to serve the Property. If required to oversize water or sewer mains (including additional depth), the Owner may request reimbursement for oversizing costs during the subdivision or other development approval process for the Property.
- 3.5. Garbage Collection: The Owner agrees that upon the expiration of the term of any contract to provide garbage collection services to the Property, that the Owner will begin using the garbage collection service in effect with the City of Post Falls.

ARTICLE IV. PUBLIC PROPERTY DEDICATIONS

- 4.1. Rights of Way and Easements: As partial consideration for this Agreement, Owner agrees to publicly dedicate the following rights of way and easements to the City at the time of execution of this Agreement, or prior to the issuance of a certificate of occupancy for the pertinent phase of the Project, unless otherwise provided herein:
 - 4.1.1. By grant of right-of-way in a form acceptable to the City, Owner will dedicate additional rights-of-way along the south side of Fourth Avenue for a total right of way width of 90 feet measured from the northern right-of-way line for Fourth Avenue. The easement will be granted at the time of execution of this Agreement, or by September 30, 2022, whichever is later.
 - 4.1.2. By grant of easement in a form acceptable to the City, Owner will grant a 5-foot-wide easement parallel to the southern edge of the Fourth Avenue right-of-way for utilities, sidewalks, and storm drainage. This easement will be granted at the time of execution of this Agreement, or by September 30, 2022, whichever is later.
 - 4.1.3. By grant of easement in a form acceptable to the City, Owner will grant a 10-foot wide easements along each side of Idaho Street to include utilities, sidewalks, and storm drainage. This easement will be granted to the City prior to the approval of the site plan for Phase 1C or any of the Preexisting Sites (Site 1, Site 2 or Site 3 – See Section 5.2) as depicted on the attached Exhibit “B”.

4.1.4. By grant of right-of-way in a form acceptable to the City, Owner will dedicate an 80-foot wide full width right of way for Idaho Street through the Property from Fourth Avenue directly south to the southern Property boundary as depicted on Exhibit "B". The Parties agree to cooperate in good faith to determine the location of the Idaho Street right-of-way to limit the impact on Owner's development plans/design. The right of way will be granted to the City prior to approval of the site plan for Phase 1C or any of the Preexisting Sites (Site 1, Site 2 or Site 3 – See Section 5.2) as depicted on the attached Exhibit "B".

4.1.5. By grant of right-of-way in a form acceptable to the City, Owner will dedicate the necessary rights-of-way for the construction of the 4th Avenue / Idaho Street Roundabout, to the City, concurrent with the roundabout design and prior to approval of the site plan for Phase 1C or redevelopment of Preexisting Site 3 (See Section 5.2) as depicted on the attached Exhibit "B".

- 4.2. No Impact Fee Credit for Dedication: Owner agrees that it is not entitled to any credit of the City's then currently adopted Impact Fees as a result of its dedication of easements and rights of way to the extent the same are subject to reimbursement by the Post Falls Urban Renewal District under the Downtown District Urban Renewal Plan. Owner further agrees that unless the easements and rights of ways are included in the City's Traffic Capital Improvement Plan, that the dedication of easements and rights of ways are considered a Project Improvement and that the Owner is not entitled to any Impact Fee credits or reimbursements for dedicating the same. As such, Owner waives, on behalf of itself and its successors in interest, any and all claims it may have against the City for not granting an Impact Fee credit relating to the dedication of easements and rights of way contemplated by this Agreement for the reasons contained in this Section 4.2. Owner reserves the right to seek credit for the City's then currently adopted Impact Fees not reimbursed by the Post Falls Urban Renewal District or prohibited by this Section pursuant to Post Falls City Code § 19.04.090. The parties agree that this Agreement is entered into in good faith by both parties and is intended to comply with Idaho Code 67-8209(4).

ARTICLE V. DEVELOPMENT OF THE PROPERTY

- 5.1. General Development, Timing, and Approvals for the Property: Owner desires to develop a mixed-use development on the former Idaho Veneer Mill site, which includes the Property. Owner plans a mix of different residential uses as well as commercial and civic spaces as well as retaining and reusing certain mill structures on the Property to provide a connection to the historic use of the Property. Owner plans to develop the Property in three phases as depicted on the Millworx Master Plan, which is attached as Exhibit "B", and agrees to apply for, and obtain, site plan approval from the City prior to beginning construction on each phase of the development. Owner agrees that the development of each phase will generally conform to Exhibit "B".
- 5.2. Reuse of Existing Structures and Density Calculation for the Property: As noted in Section 5.1, Owner desires to develop the Property as an infill neighborhood consistent with the Property's SC 5 zoning. SC5 zoning requires a minimum density of 18 units per

acre, however, Post Falls Municipal Code Section 18A.16.060 allows flexibility for developments where preexisting conditions may not allow the site to develop in full conformity with the SC5 zoning. The City's Development Review Committee and Planning and Zoning Commission have agreed that it is desirable to retain the three Preexisting Sites on the Property provided that the Preexisting Sites are reused and redeveloped to blend with the overall development of the Property. As such, the City agrees to exclude the areas labeled Preexisting Site 1 (0.41 acres), Preexisting Site 2 (0.41 acres), and Preexisting Site 3 (0.95 acres), on Exhibit "B", from the calculation of overall density for the Property subject to the Owner complying with the requirements of this Section.

- 5.2.1. Minimum Density: Owner agrees to develop the Property (excluding the Preexisting Sites) with an overall density for the Project of at least 18 units per acre.
- 5.2.2. Reuse and Redevelopment of the Preexisting Sites: Owner agrees to redevelop and reuse the Preexisting Sites as commercial, residential, or civic spaces consistent with the SC5 zone. Additionally, Owner agrees that the Preexisting Sites will be rehabilitated and reconstructed in a manner to blend harmoniously with the rest of the planned development of the Site.
- 5.2.3. Replacement of the Historic Structures on the Preexisting Sites: If, at any time, Owner elects to redevelop any of the Preexisting Sites (See Paragraph 5.2) in a manner that does not retain the historic mill structures on the site, Owner agrees that the Preexisting Site(s) will be redeveloped in a manner that the overall density of the Property (including the Preexisting Site(s) being redeveloped) has a minimum 18 units per acre provided that the zoning of the Property, at the time of redevelopment, allows for the Property to be redeveloped at that density.
- 5.3. Construction of Fourth Avenue: Owner agrees to complete construction of Fourth Avenue east of the planned Fourth Avenue/Idaho Street roundabout with the first phase of construction on the Property in accord with the design plans attached hereto as *Exhibit "C"* and approved by the City. Owner agrees that the City may withhold Certificates of Occupancy for the Property until Fourth Avenue is constructed and the parties agree it is substantially complete.
- 5.4. Location of Drive Approaches on Fourth Avenue: The location, configuration and spacing of the drive approaches to the Property from Fourth Avenue must be approved by the City for each phase of development of the Property.
- 5.5. Development of the Railroad Avenue Traffic Circle: The internal traffic circle on Railroad Avenue within the Property must be constructed with the first phase of construction on the Property. Owner agrees that the City may withhold Certificates of Occupancy for the Property until the traffic circle is constructed. The traffic circle will be privately owned and maintained.
- 5.6. Design and Construction of Idaho Road and Roundabout: Owner will complete, and submit to the City for approval, the design for Idaho Road and the planned Idaho Road/Fourth Avenue roundabout at the time Owner seeks Site Plan approval for Phase 1-

C or redevelopment of Preexisting Site 3 (See Section 5.2). Idaho Road and the roundabout must be constructed, and accepted by the City, with the construction of Phase 1-C. Owner agrees that the City may withhold Certificates of Occupancy for Phase 1-C until both Idaho Road and the roundabout are constructed, and the parties agree that the improvements are substantially complete.

- 5.7. No Impact Fee Credit for Construction: Owner agrees that it is not entitled to any credit of the City's then currently adopted Impact Fees as a result of its construction of any public streets including Idaho Road and Fourth Avenue that are reimbursed by the Post Falls Urban Renewal District. Owner further agrees that unless the construction of public streets contemplated by this Agreement are included in the City's Traffic Capital Improvement Plan, that the construction of said streets are considered a Project Improvement and that the Owner is not entitled to any Impact Fee credits or reimbursements for constructing the same. As such, Owner waives, on behalf of itself and its successors in interest, any and all claims it may have against the City for not granting an Impact Fee credit relating to the construction of such roads for the reasons contained in this Section 5.7. Owner reserves the right to seek a credit for the City's then adopted Impact Fees not reimbursed by the Post Falls Urban Renewal District or prohibited by this Section pursuant to Post Falls City Code § 19.04.090. The parties agree that this Agreement is entered into in good faith by both parties and is intended to comply with Idaho Code 67-8209(4).
- 5.8. Application of this Agreement to Remainder of the Idaho Veneer Mill Site: This Agreement solely addresses the development of the Property and does not apply to the development of the rest of the Idaho Veneer Mill Site, situated to the west of Idaho Road or north of Fourth Avenue, which is also owned by Owner. The parties acknowledge that a separate agreement(s) to address the development of the remaining Idaho Veneer Mill Sites may be entered into between the Parties.

ARTICLE VI. ADDITIONAL REQUIREMENTS OF THE STATE OF IDAHO

- 6.1. Clauses Required by the State of Idaho: The clauses contained in this Article are required by the State of Idaho. The inclusion of these clauses in this Agreement by the City does not indicate the City's support or opposition to these clauses nor Agreement by the City that these clauses are relevant to the subject matter of this Agreement. Rather, these clauses are included solely to comply with Idaho state law.
- 6.2. Boycotting Israel: Owner certifies that it is not currently engaged in, and will not, for the duration of this Agreement, engage in a boycott of the goods or services of the state of Israel or territories under its control as those terms are defined in the Anti-Boycott Against Israel Act (Idaho Code 67-2346).
- 6.3. Contract with Abortion Providers: Owner certifies that it is not, and will not, for the duration of this Agreement become, an abortion provider or an affiliate of an abortion provider as those terms are defined in the No Public Funds for Abortions Act Idaho Code Title 18, Chapter 87).

ARTICLE VII. MISCELLANEOUS

- 7.1. Waiver of Claims Against the City for Withholding Development Approvals: Owner waives, on behalf of itself and its successors in interest, any and all claims against the City relating to the City withholding development approvals, certificates of occupancy, or other approvals which are specifically authorized by this Agreement.
- 7.2. Subdivision: The parties acknowledge that in the event the Owner desires to sell a portion of any existing parcel contained within the Property, rather than the parcel as a whole, that a subdivision or condominium plat will be required. Owner agrees that in the event a subdivision plat is necessary, Owner will submit a proper subdivision plat and comply with the subdivision ordinance in effect at the time of the desired division. Any application(s) for subdivision or condominium plat affecting the Property shall not affect the enforceability of this Agreement.
- 7.3. Owner to Hold City Harmless: The Owner further agrees it will indemnify, defend (in the City's sole option, and hold the City harmless from any and all causes of action, claims and damages that arise, may arise, or are alleged, as a result of the Owner's development, operation, maintenance, and use of the Property prior to the Owner's final completion of all development of the Property (excluding therefrom any portion(s) of the Property subsequent to such portion being publicly dedicated to the City). Owner further agrees to pay City's legal costs, including reasonable attorney fees in the event this Agreement is challenged in a court of law. Payment for City's legal costs will be remitted within thirty (30) days after receipt of invoice from the City for legal expenses.
- 7.4. Time is of the Essence: Time is of the essence in this Agreement.
- 7.5. Merger and Amendment: All promises and prior negotiations of the parties' merge into this Agreement and the representations, warranties, covenants, conditions, and agreements of the parties contained in the Agreement shall survive the acceptance of any deeds and/or easements. The parties agree that this Agreement may only be amended by a written instrument that is signed by both Parties. The Parties agree that this Agreement will not be amended by a change in law.
- 7.6. Effect on City Code: The Parties agree that Agreement is not intended to replace any other requirement of City Code and that its execution does not constitute a waiver of requirements established by City ordinance or other applicable provisions of law.
- 7.7. Recordation: The Parties agree that this Agreement will be recorded by the City. Owner agrees to reimburse City for any recording expenses.
- 7.8. Section Headings: The section headings of this Agreement are for clarity in reading and not intended to limit or expand the contents of the sections to which they apply.
- 7.9. Incorporation of Recitals and Exhibits: The recitals to this Agreement and all exhibits referred to in this Agreement are incorporated herein by this reference and made a part of this Agreement. This Agreement consists of three (3) exhibits, as follows:

Exhibit A: Legal Description of the Property

Exhibit B: Concept Plans

Exhibit C: Phase 1A/1B Approved 4th Avenue Construction Plans and Civil Site Plans

- 7.10. Compliance with Applicable Laws: The Parties agree to comply with all applicable laws.
- 7.11. Covenants Run with the Land: The covenants contained herein to be performed by the Owner are binding upon the Owner and Owner's heirs, assigns and successors in interest, and shall be deemed to be covenants running with the land.
- 7.12. Promise of Cooperation: City agrees that it will accept, process and review, in good faith, in accordance with the terms of this Agreement all design plan(s) processing and approval, building permits or other authorizations needed for development of each Phase the Project. Should circumstances change, operational difficulties arise, or misunderstandings develop, the parties agree to meet and confer at the request of either party to discuss the issue and proposed solutions. Further, each party agrees not to bring a claim, initiate other legal action, or suspend performance without meeting directly with the other party regarding the subject matter of the disagreement and if the parties cannot amicably resolve the disagreement, retain a mediator, acceptable to both parties, to mediate a solution to the disagreement.
- 7.13. Permits. City agrees that this Agreement shall permit Owner to develop the Project according to the terms and conditions agreed to herein and the official actions approving the Project, and that City agrees to issue such permits and approvals in a reasonable and timely manner to allow Owner to develop the Project, subject to demonstrated compliance with all provisions of applicable law and this Agreement.
- 7.14. Severability: Should any provision of this Agreement be declared invalid by a court of competent jurisdiction the remaining provisions continue in full force and effect and must be interpreted to effectuate the purposes of the entire Agreement to the greatest extent possible.
- 7.15. Enforcement - Attorney's Fees: Should either party require the services of legal counsel to enforce compliance with the terms of this Agreement, the prevailing party will be entitled to its reasonable attorney's fees and related costs of enforcement.

IN WITNESS WHEREOF, the City of Post Falls has caused this Agreement to be executed by its Mayor and City Clerk, and the Owner has executed this Agreement to be effective the day and year first above written.

STATE OF Washington)

:SS

County of Spokane)

On this 27 day of Dec, 2021, before me, a Notary for the State of WA, personally appeared **William Lawson, President of A & A Construction & Development, a Washington Corporation**, known, or identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same on behalf of the corporation and that the corporation duly authorized him to enter into this Agreement on behalf of the corporation.

IN WITNESS WHEREOF, I have hereto set my hand and affixed my official seal the date and year in this certificate first above written.

Alexis Myre Burrington
Notary Public for the State of WA
Residing at: 2/8/24





J-U-B COMPANIES



THE
LANGDON
GROUP



GATEWAY
MAPPING
INC.

EXHIBIT__

LEGAL DESCRIPTION

SUBJECT PROPERTY

September 29, 2021

(NOTE: The following legal description is intended for use in defining the property of a Master Development Agreement. It is not intended for property conveyance purposes)

That portion of the SW1/4 of the NW1/4 of Section 2, Township 50 North, Range 5 West, B.M., City of Post Falls, Kootenai County, Idaho, described as follows:

COMMENCING at the West 1/4 corner of said Section 2, (from which the northwest corner of said Section bears North 01°00'50" East, a distance of 2,644.76 feet); thence North 01°00'50" East along the west line of said SW1/4 of the NW1/4 of Section 2, a distance of 201.51 feet to the POINT OF BEGINNING;

thence continuing North 01°00'50" East along the west line of said SW1/4 of the NW1/4, a distance of 84.35 feet, more or less, to the southerly right-of-way line of a spur line of the Burlington Northern and Santa Fe Railroad;

thence South 89°00'52" East along said southerly right-of-way line, a distance of 109.92 feet, more or less, to the easterly right-of-way line of a spur line of said Burlington Northern and Santa Fe Railroad;

thence North 00°59'08" East along said easterly right-of-way line, a distance of 30.00 feet, more or less, to the northerly right-of-way line of a spur line of said Burlington Northern and Santa Fe Railroad;

thence North 89°00'52" West along said northerly right-of-way line, a distance of 59.91 feet;

thence North 88°56'41" West continuing along said northerly right-of-way line, a distance of 50.00 feet, more or less, to the west line of said SW1/4 of the NW1/4 of Section 2;

thence North 01°00'50" East along the west line of said SW1/4 of the NW1/4, a distance of 469.71 feet, more or less, to the southerly right-of-way line of East 4th Avenue;

thence South 88°56'17" East along said southerly right-of-way line, a distance of 1,057.18 feet;

thence South 01°51'57" West, a distance of 554.38 feet, more or less, to the northerly right-of-way line of the said Burlington Northern and Santa Fe Railroad;

thence South 87°15'08" West along said northerly right-of-way line, a distance of 249.89 feet;

thence 372.36 feet along the arc of a curve to the right, having a radius of 5714.65 feet, through a central angle of 03° 44' 00", said curve having a long chord that bears South 89° 07' 08" West a chord distance of 372.29 feet;

thence North 89° 00' 52" West, a distance of 427.49 feet, more or less, to the POINT OF BEGINNING.

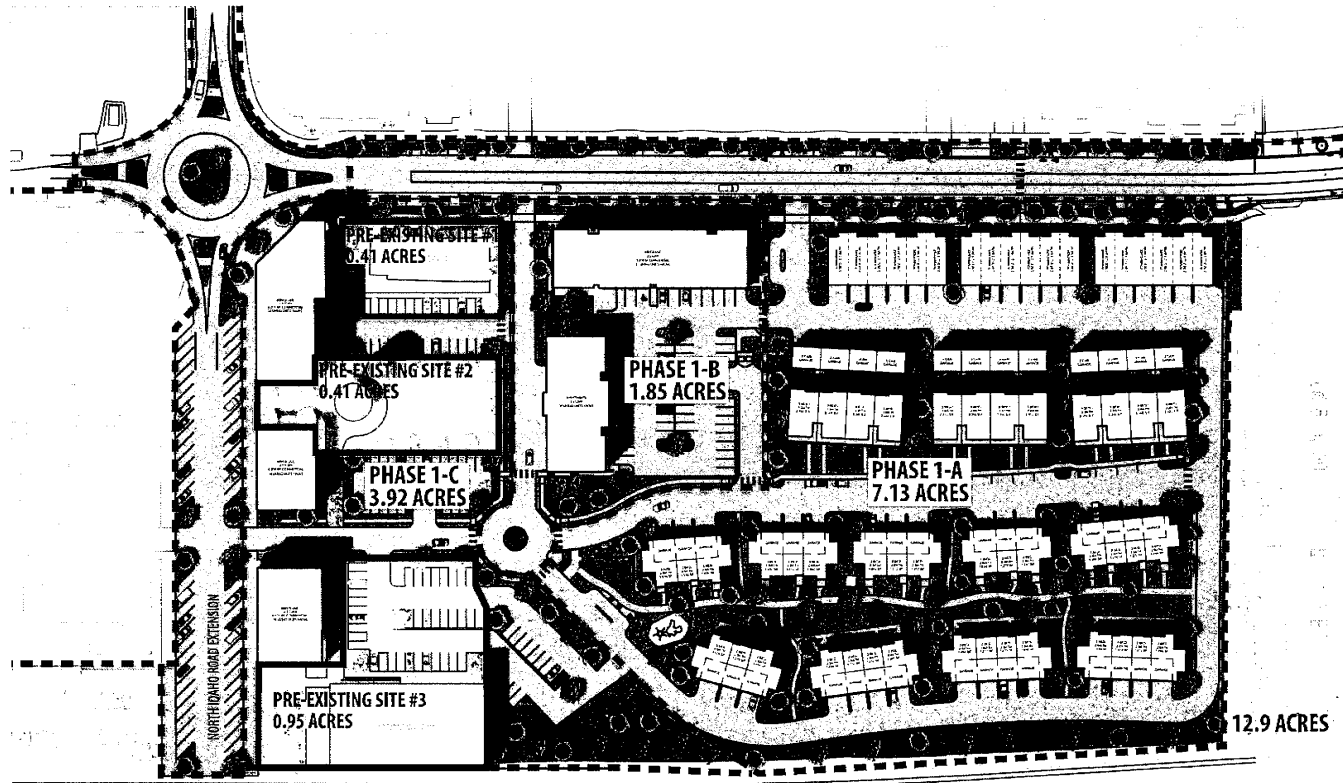
Containing 13.875 acres, more or less.

SUBJECT TO: Existing rights-of-way and easements of record and/or appearing on above-described tract.


Digitally signed on:
09/29/2021

Digitally signed by Jeremy J.
Russell:A0109800000013AC3285009000038C7
Date: 2021.09.29 07:55:58-07'00'





PHASE 1 DEVELOPMENT (INCLUDES 1-A, 1-B, 1-C)

PHASE 1 DENSITY CALCULATIONS		ZONING SC-5		REQUIRED DENSITY: 18 UNITS / ACRE		
Phase 1-A						
Site Acres	Living Units	Adaptive Reuse (Acres)	Commercial Space	Units / 1,000 SF Commercial	Avg. Units / Acre	
7.13	61	0	0	0	8.5	
Phase 1-B						
Site Acres	Living Units	Adaptive Reuse (Acres)	Commercial Space	Units / 1,000 SF Commercial	Avg. Units / Acre	
1.85	61	0	4,540	4.5	35.4	
Phase 1-C						
Site Acres	Living Units	Adaptive Reuse (Acres)	Commercial Space	Units / 1,000 SF Commercial	Avg. Units / Acre	
3.92	58	1.77	21,200	21	36.7	
TOTAL:						
12.9	180	1.77	25,740	25.5	18.4	

ADAPTIVE RE-USE AREA (ARA)	
PRE-EXISTING SITE #1	.41 ACRES
PRE-EXISTING SITE #2	.41 ACRES
PRE-EXISTING SITE #3	.95 ACRES
TOTAL	1.77 ACRES

DENSITY CALCULATION:	
12.9 ACRES - 1.77 ACRES (ARA) = 11.13 ACRES	
205 / 11.13 ACRES = 18.4 DU/ACRE	



MILLWORX - PHASE 1

CITY SUBMITTAL

POST FALLS, ID

DECEMBER 2021

OWNER & ENGINEER CONTACT INFORMATION

DEVELOPER:
A&A CONSTRUCTION
108 N. WASHINGTON STREET
SUITE 603
SPOKANE, WA 99201
(509) 624-1170

CIVIL ENGINEER:
PAUL INKWARDS, PE
J-U-B ENGINEERS, INC.
7825 N MEADOWLARK WAY
COEUR D'ALENE, ID 83815
(208) 762-8787
PSI@JUB.COM

GEOTECHNICAL ENGINEER:
JOHN FINNEGAN, PE
BUDINGER & ASSOCIATES, INC.
1101 N. PARKER ROAD
SPOKANE, WA 99201
(208) 904-2980
JOHN@BUDINGERINC.COM

UTILITY CONTACT INFORMATION

WATER/SEWER/STORM
CITY OF POST FALLS
408 W SPOKANE ST
POST FALLS, ID 83854
(208) 773-3511

POWER/GAS
AVISTA
1735 N 15TH ST.
COEUR D'ALENE, ID 83814
(509) 495-2794
CONTACT: FRANK JACCHETTA
frank.jacchetta@avistacorp.com

FIBER INTERNET
INTERMARK NETWORKS
7400 N MINERAL DRIVE
SUITE 300
COEUR D'ALENE, ID 83815
(208) 762-8005
CONTACT: JAMIE DAVIS
jame.davis@intermarkteam.com

BENCHMARK / DATUM
5/8" REBAR WITH CAP "JUB-CENT" AND THE NORTHEAST INTERSECTION OF IDAHO AND 4TH STREET, 1/2" NORTH OF CATCH BASIN.

ELEVATION=2178.86'
VERTICAL DATUM: NAVD 88.

NOTE: TO CONVERT FROM NAVD 88 DATUM TO NAVD 29 DATUM, SUBTRACT 3.87 FEET FROM THE ELEVATION SHOWN HEREON.

NOTICE AND DISCLAIMER

THE PLANS AND/OR SPECIFICATIONS SUBMITTED ARE THE PROPERTY OF J-U-B ENGINEERS, INC. (J-U-B) AND BY USING THE DOCUMENTS YOU AGREE TO BE BOUND BY THE TERMS AND CONDITIONS OF THE CONTRACT AND SPECIFICATIONS.
THE USE OF THE DOCUMENTS CREATES NO DUTY IN CONTRACT, TORT, EQUITY OR OTHERWISE OF J-U-B TO THE USER. THE USER SHALL NOT (i) DISSEMINATE THE DOCUMENTS OR ANY PART THEREOF, (ii) OBTAIN INFORMATION FROM THE DOCUMENTS OR ANY PART THEREOF FOR ANY USE OTHER THAN AS DESIGNATED HEREON FOR THE INTENDED PROJECT, THE DOCUMENTS ARE NOT INTENDED FOR USE IN OBTAINING PERMITS FOR GRADING OR EARTHWORK, SURVEY STAKING LOCATIONS UNLESS SPECIFICALLY IDENTIFIED AS SUCH IN THE DOCUMENTS, OR PROPERTY REQUIREMENTS.
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DEPARTMENT REVIEW

POST FALLS

PLANNING

Approved

Linda Jones
11/18/2021 2:05:07 PM

ENGINEERING

Approved

Jim Maloney
11/18/2021 2:17:41 PM

BUILDING

Approved

Justin Miller
12/01/2021 4:41:46 PM

Approved

Per Jeryl Archer
01/04/2022 10:52:40 AM



CITY OF POST FALLS PROJECT NO. SPR-0023-0201
J-U-B PROJECT NO. 20-20-066

SITE PLAN DATA TABLE	
ZONING	SCS (SMART CODE)
EXISTING PARCELS	ORIGINALLY PART OF PARCELS P-0000-002-4600 (WEST) AND P-0000-002-4650 (EAST). BOUNDARY LINE ADJUSTMENTS RECORDED 9/14/2021, NEW PARCEL NUMBERS FOR BLA PARCELS AA, BB, CC, Y, AND Z ARE PENDING FROM KOOTENAI COUNTY.
PARCEL SIZES	EX. PARCELS: 7,560 ACRES (-4600) AND 6,300 ACRES (-4650) POST-BLA PARCELS: 0.956 AC (AA); 1,528 AC (BB); 2,735 AC (CC); 3,119 AC (Y); 1,517 AC (Z) TOTAL PHASE 1 AREA: 409,200± SF (9.39± AC)
SEE SHEET C1.00 FOR PARKING, OPEN SPACE, AND IMPERVIOUS AREA CALCULATIONS.	



Sheet List Table		
Page Number	Sheet Number	Sheet Title
1	C0.01	COVER SHEET
2	C0.02	GENERAL NOTES AND LEGEND
3	C0.10	GEOMETRIC CONTROL PLAN
4	C0.11	TEMPORARY EROSION AND SEDIMENT CONTROL PLAN
5	C1.00	OVERALL SITE PLAN
6	C1.01	PARTIAL SITE PLAN
7	C1.02	PARTIAL SITE PLAN
8	C1.03	PARTIAL SITE PLAN
9	C1.04	4TH AVE STRIPING PLAN
10	C1.10	OVERALL GRADING PLAN
11	C1.11	PARTIAL GRADING PLAN
12	C1.12	PARTIAL GRADING PLAN
13	C1.13	PARTIAL GRADING PLAN
14	C1.14	PARTIAL GRADING PLAN
15	C1.15	PARTIAL GRADING PLAN
16	C1.16	PARTIAL GRADING PLAN
17	C1.17	PARTIAL GRADING PLAN
18	C1.18	PARTIAL GRADING PLAN
19	C1.20	OVERALL UTILITY PLAN
20	C1.21	PARTIAL UTILITY PLAN
21	C1.22	PARTIAL UTILITY PLAN
22	C1.23	PARTIAL UTILITY PLAN
23	C1.24	PARTIAL UTILITY PLAN
24	C1.25	PARTIAL UTILITY PLAN
25	C1.26	PARTIAL UTILITY PLAN
26	C1.27	PARTIAL UTILITY PLAN
27	C1.28	PARTIAL UTILITY PLAN
28	C1.29	PARTIAL UTILITY PLAN
29	C1.30	PARTIAL UTILITY PLAN
30	C1.31	PARTIAL UTILITY PLAN
31	C5.00	DETAILS
32	C5.01	DETAILS
33	C5.02	DETAILS
34	C5.03	CITY STANDARD DETAILS
35	C5.04	CITY STANDARD DETAILS
36	C5.05	CITY STANDARD DETAILS



J-U-B ENGINEERS, INC.
7825 Meadowlark Way, Coeur d'Alene, ID 83815
p 208 762 8787 w www.jub.com



J-U-B FAMILY OF COMPANIES



Know what's below.
Call before you dig.
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

CITY OF POST FALLS - APPROVED BY:

CITY ENGINEER 12/17/2021



NOTE TO READER: JUB SHALL RETAIN ALL COMMON LAW, STATUTORY, COPYRIGHT AND OTHER RESERVED RIGHTS OF THESE DRAWINGS, AND THE USER SHALL NOT BE PERMITTED TO REPRODUCE, COPY, REPRODUCE, TRANSMIT, OR OTHERWISE DISSEMINATE THESE DRAWINGS WITHOUT WRITTEN CONSENT BY JUB. ALL RIGHTS RESERVED. THESE DRAWINGS SHALL BE VOID WITHOUT WRITTEN CONSENT BY JUB. ALL RIGHTS RESERVED. THESE DRAWINGS SHALL BE VOID WITHOUT WRITTEN CONSENT BY JUB. ALL RIGHTS RESERVED.

COVER SHEET

MILLWORX PHASE 1
A&A CONSTRUCTION & DEVELOPMENT
POST FALLS, ID

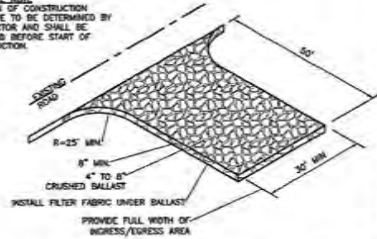
WAG
Wells Architectural Group
1015 N. Colgate Street, Suite 10
Spokane, Washington 99201
p 509.325.8899 f 509.455.3833
www.wag.com



J-U-B ENGINEERS, INC.
7825 Meadowlark Way
Coeur d'Alene, ID 83815
Phone: 208.762.8787
www.jub.com
Project No.: 20-20-066
Date: 8-1-2021
Drawn By: COH
Checked By: PJI

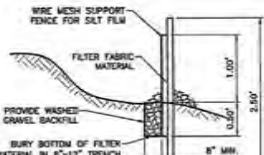
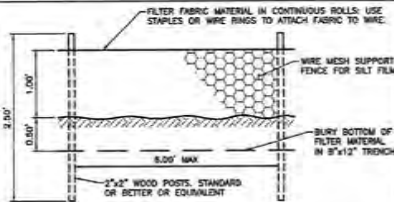
C0.01

ENTRANCE NOTE
 LOCATION OF CONSTRUCTION ENTRANCE TO BE DETERMINED BY CONTRACTOR AND SHALL BE INSTALLED BEFORE START OF CONSTRUCTION.

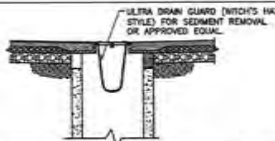


1. THE TEMPORARY CONSTRUCTION ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS AND OTHER OBSTRUCTIONABLE MATERIAL. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHOULD BE CONSTRUCTED ACCORDING TO NOTE #4 IN THIS PLAN. IF WASH RACKS ARE USED, THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. GRAVEL SHALL BE CRUSHED BALLAST ROCK, 8" TO 12" IN DEPTH AND INSTALLED TO THE SPECIFIED DIMENSIONS AT THE ENTRANCE.
3. THE GRAVEL BALLAST ROCK SHALL BE 4" TO 8" IN DIAMETER AND PLACED ACROSS THE FULL WIDTH OF VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF ENTRANCE SHALL BE A MINIMUM OF 50 FEET.
4. IF CONDITIONS ON THE SITE ARE SUCH THAT MOST OF THE MUD IS NOT REMOVED FROM VEHICLE TIRES BY CONTACT WITH GRAVEL, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER ONTO A PUBLIC ROAD. WASH WATER MUST BE CARRIED AWAY FROM ENTRANCE TO A SETTLING AREA TO REMOVE SEDIMENT. A WASH RACK MAY ALSO BE USED TO MAKE WASHING MORE CONVENIENT AND EFFECTIVE.
5. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2" STONE. AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS FILLED, DROPPED, RIGGED OR TRACKED FROM VEHICLES ONTO ROADWAY OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

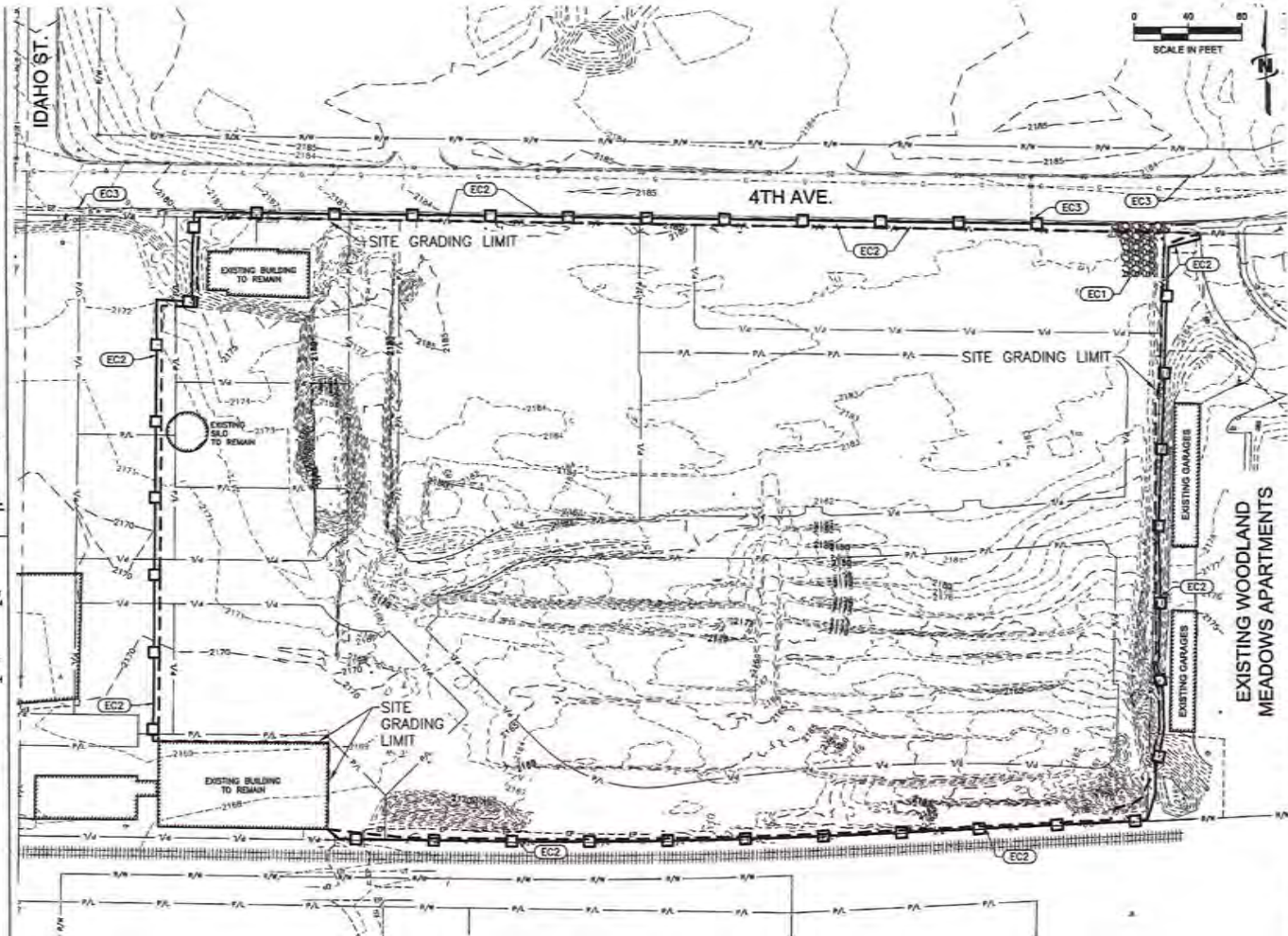
1 TEMPORARY VEHICLE TRACKING CONTROL
 SCALE: N.T.S.



2 SILT FENCE
 SCALE: N.T.S.



3 TEMPORARY INLET SEDIMENT CONTROL
 SCALE: N.T.S.



KEYED NOTES

- EROSION CONTROL**
- (EC1) VEHICLE TRACKING CONTROL EXT - ACTUAL LOCATION TO BE DETERMINED BY CONTRACTOR
 - (EC2) SILT FENCE
 - (EC3) INSTALL TEMPORARY FILTER FABRIC AT CATCH BASINS AND ALL OTHER STORM DRAINAGE INLETS. REMOVE AT FINAL SITE STABILIZATION.

- LINE LEGEND**
- SILT FENCE
 - EG MINOR CONTOUR
 - EG MAJOR CONTOUR



Know what's below.
 Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

CITY OF POST FALLS - APPROVED BY:

[Signature]
 CITY ENGINEER

Revisions



PLANS BY ENGINEER
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TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

MILLWORX PHASE 1
 A&A CONSTRUCTION & DEVELOPMENT
 POST FALLS, ID

WAG
 Wolfe Architectural Group
 1018 N. College Street, Suite 117
 Spokane, Washington 99201
 P 509.485.8100 F 509.458.3623
 www.wagarch.com



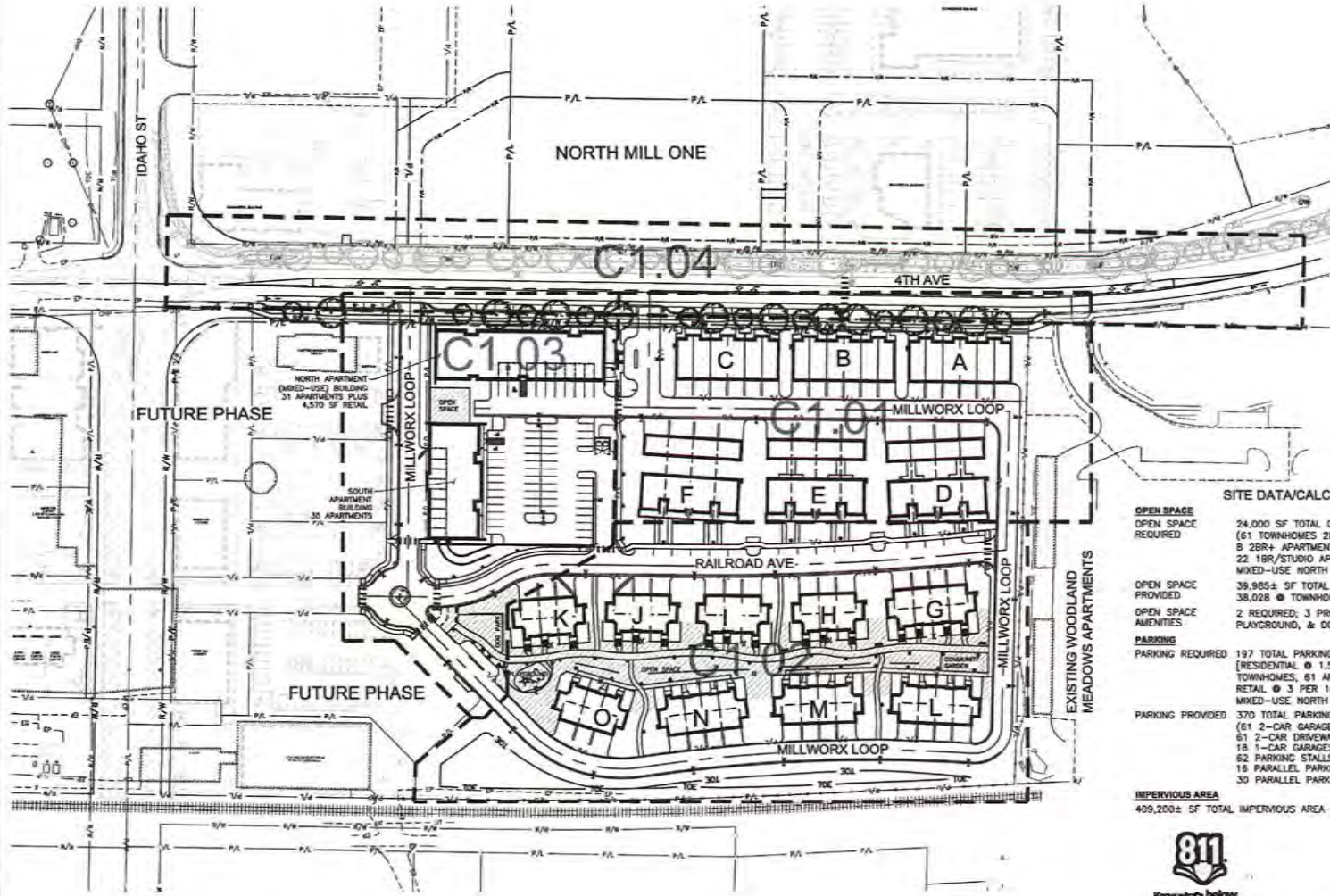
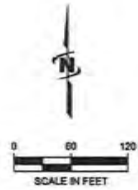
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 7825 Meadowlark Way
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 Phone: 208.762.8787
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Project No.: 20-20-006
 Date: 8-7-2021
 Drawn By: CCK
 Checked By: PSL

Sheet No.

C0.11

NOTES
 1. ON-SITE LIGHTING SHOWN ON SEPARATE ELECTRICAL PLAN SUBMITTAL. SEE PLANS BY OTHER FOR LIGHTING LAYOUT.



SITE DATA/CALCULATIONS

OPEN SPACE REQUIRED	24,000 SF TOTAL OPEN SPACE REQUIRED (61 TOWNHOMES 2BR+ @ 300 SF/EA; 8 2BR+ APARTMENTS @ 300 SF/EA; 22 1BR/STUDIO APARTMENTS @ 150 SF/EA; MIXED-USE NORTH APARTMENT BUILDING EXEMPT)
OPEN SPACE PROVIDED	39,985± SF TOTAL (1,957 SF @ APARTMENTS; 38,028 @ TOWNHOMES)
OPEN SPACE AMENITIES	2 REQUIRED; 3 PROVIDED (COMMUNITY GARDEN, PLAYGROUND, & DOG PARK)
PARKING REQUIRED	197 TOTAL PARKING SPACES REQUIRED (RESIDENTIAL @ 1.5/DWELLING; 122 UNITS (61 TOWNHOMES, 61 APARTMENTS) = 183; RETAIL @ 3 PER 1000 SF (4,570 SF RETAIL IN MIXED-USE NORTH APARTMENT BLDG) = 14)
PARKING PROVIDED	370 TOTAL PARKING SPACES PROVIDED (61 2-CAR GARAGES @ TOWNHOMES; 18 2-CAR DRIVEWAYS @ TOWNHOMES; 18 1-CAR GARAGES @ APARTMENT BUILDINGS; 52 PARKING STALLS @ APARTMENT BUILDINGS; 16 PARALLEL PARKING @ RAILROAD AVE; 30 PARALLEL PARKING @ 4TH AVE.)
IMPERVIOUS AREA	409,200± SF TOTAL IMPERVIOUS AREA ON SITE



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CITY OF POST FALLS - APPROVED BY:

 CITY ENGINEER

Professional Engineer
 11222
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 STATE OF IDAHO
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OVERALL SITE PLAN

MILLWORX PHASE 1
 A&A CONSTRUCTION & DEVELOPMENT
 POST FALLS, ID

WAG
 Wells Architectural Group
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 www.wag.com

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Project No.: 25-20-088
 Date: 6/1/2021
 Drawn By: CDM
 Checked By: PSJ

Sheet No.:
C1.00

KEYED NOTES:

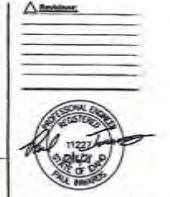
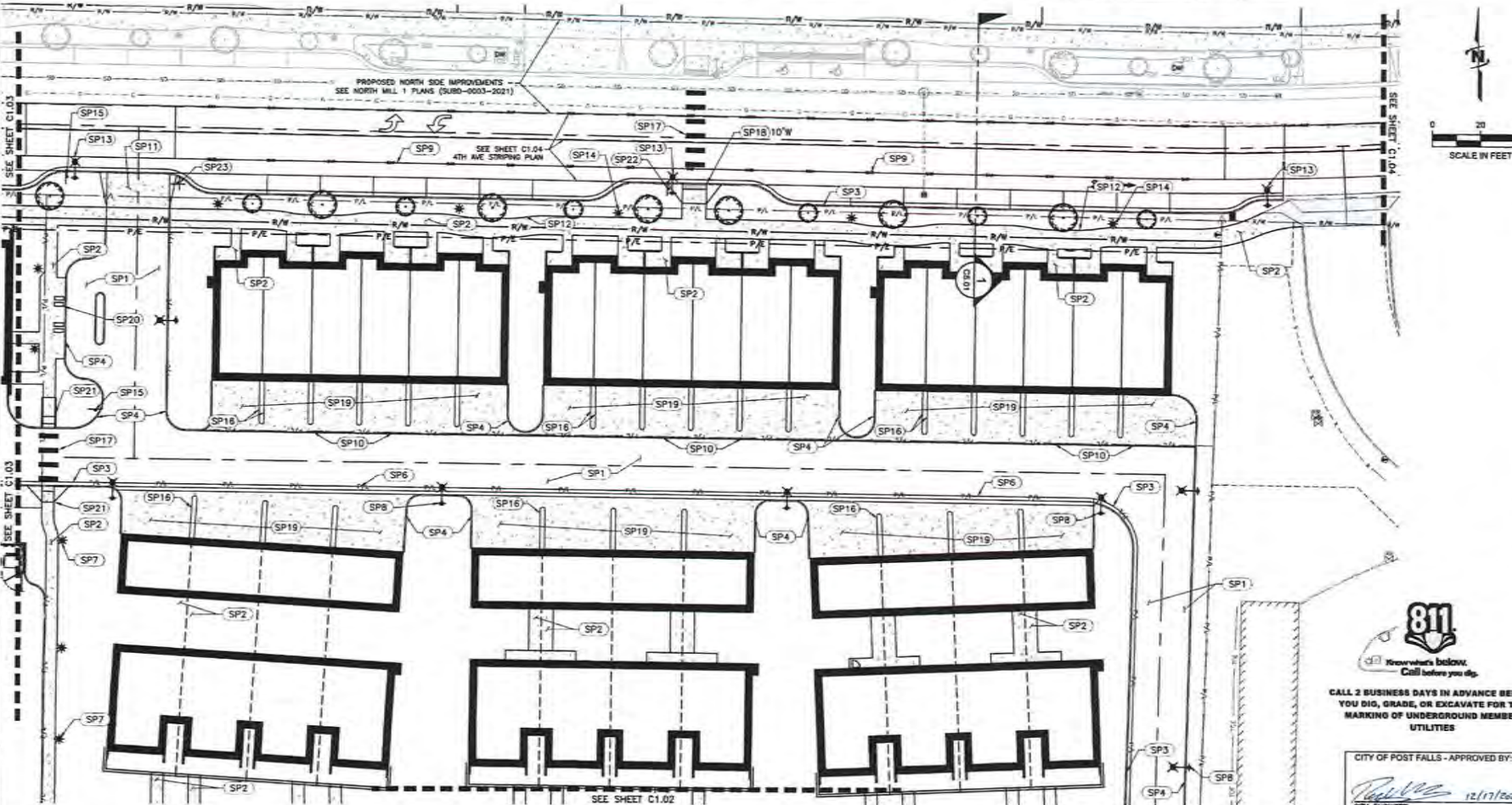
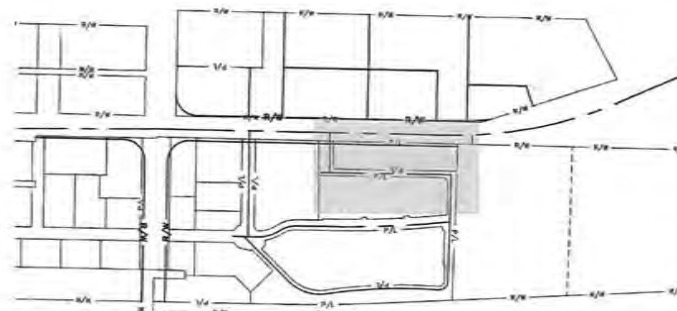
SITE PLAN

- (SP1) STANDARD DUTY ASPHALT PAVEMENT
- (SP2) CONCRETE SIDEWALK PER CITY STD DWG SD 2012, TYP. SEE ARCHITECTURAL/LANDSCAPE PLANS FOR JOINT PATTERNS.
- (SP3) CONCRETE CURB AND GUTTER PER CITY STANDARD DETAIL SD 2010
- (SP4) STANDARD STRAIGHT CURB PER CITY OF POST FALLS STANDARD DETAIL SD 2009 NOT USED
- (SP5) VALLEY GUTTER PER IPSWC SD-708, MODIFIED TO 3" W, TYP.
- (SP7) ON SITE LOW LEVEL BOLLARD LIGHT, TYP. SEE SITE LIGHTING PLAN FOR ADDITIONAL DETAILS
- (SP8) ON SITE STREET LIGHTS, TYP. (20'W MAX). SEE SITE LIGHTING PLAN FOR ADDITIONAL DETAILS
- (SP9) SAWCUT AND MATCH EXISTING PAVEMENT

- (SP10) EDGE OF PAVEMENT, TYP.
- (SP11) 26'W DRIVEWAY APPROACH TYPE B PER CITY STD DWG SD 2015
- (SP12) 1' SIDEWALK JOG FOR 8"W PLANTER AT TYPE B TREES, TYP. SEE DETAIL, CONFIRM LOCATIONS WITH LANDSCAPE PLAN PRIOR TO CONSTRUCTION.
- (SP13) COBRA HEAD STYLE STREET LIGHT (100W EQUIVALENT LED) ON STEEL POLE PER CITY OF POST FALLS AND AVISTA STANDARDS, TYP. CONTRACTOR TO COORDINATE WITH ELECTRICAL AND AVISTA DESIGNS. 300' MAX. SPACING
- (SP14) ANTIQUE DECORATIVE PEDESTRIAN LIGHT WITH HANOVER PENDANT FIXTURE (LITHONIA EHL16 RT 49LED 525MA 4K COF WOLFT R3 DBUO), ARM (LITHONIA EAH496/BO), AND CONCRETE POLE (AMERON SB119SPL), TYP. CONTRACTOR TO COORDINATE WITH ELECTRICAL AND AVISTA DESIGNS. 100' SPACING, TYP.
- (SP15) POST MOUNTED SPEED LIMIT SIGN R2-1 (25 MPH) FACING WEST PER CITY STD DWG SD 2017.

- (SP16) EDGE OF CONCRETE LANDSCAPE STRIP. SEE LANDSCAPE PLANS FOR SURFACING.
- (SP17) HIGH VISIBILITY PEDESTRIAN CROSSING AND PED CROSSING SIGNS PER CITY STD DWG SD 2021.
- (SP18) PEDESTRIAN RAMP, TYPE A, PER CITY STD DWG SD 2013, WIDTH PER PLAN.
- (SP19) CONCRETE PAVEMENT
- (SP20) MAILBOXES - SEE ARCHITECTURAL/LANDSCAPE PLANS FOR DETAILS
- (SP21) PEDESTRIAN RAMP, TYP.
- (SP22) RECTANGULAR RAPID FLASHING BEACONS (JSF TECHNOLOGIES AB-9407-40W BRFB DUAL SIDED WITH 6 LED'S) INCLUDING PUSH BUTTON CAMPBELL 4EYR ROUND (YELLOW)
- (SP23) "MILLWORK LP" STREET SIGN WITH BLUE BASE (PRIVATE) AND "RAILROAD AVE" STREET SIGN WITH GREEN BASE PER CITY STD DWG SD 2018

NOTES
 1. ON-SITE LIGHTING SHOWN ON SEPARATE ELECTRICAL PLAN SUBMITTAL. SEE ELECTRICAL PLANS FOR LIGHTING LAYOUT.



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 CITY ENGINEER

C1.01



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NOTES

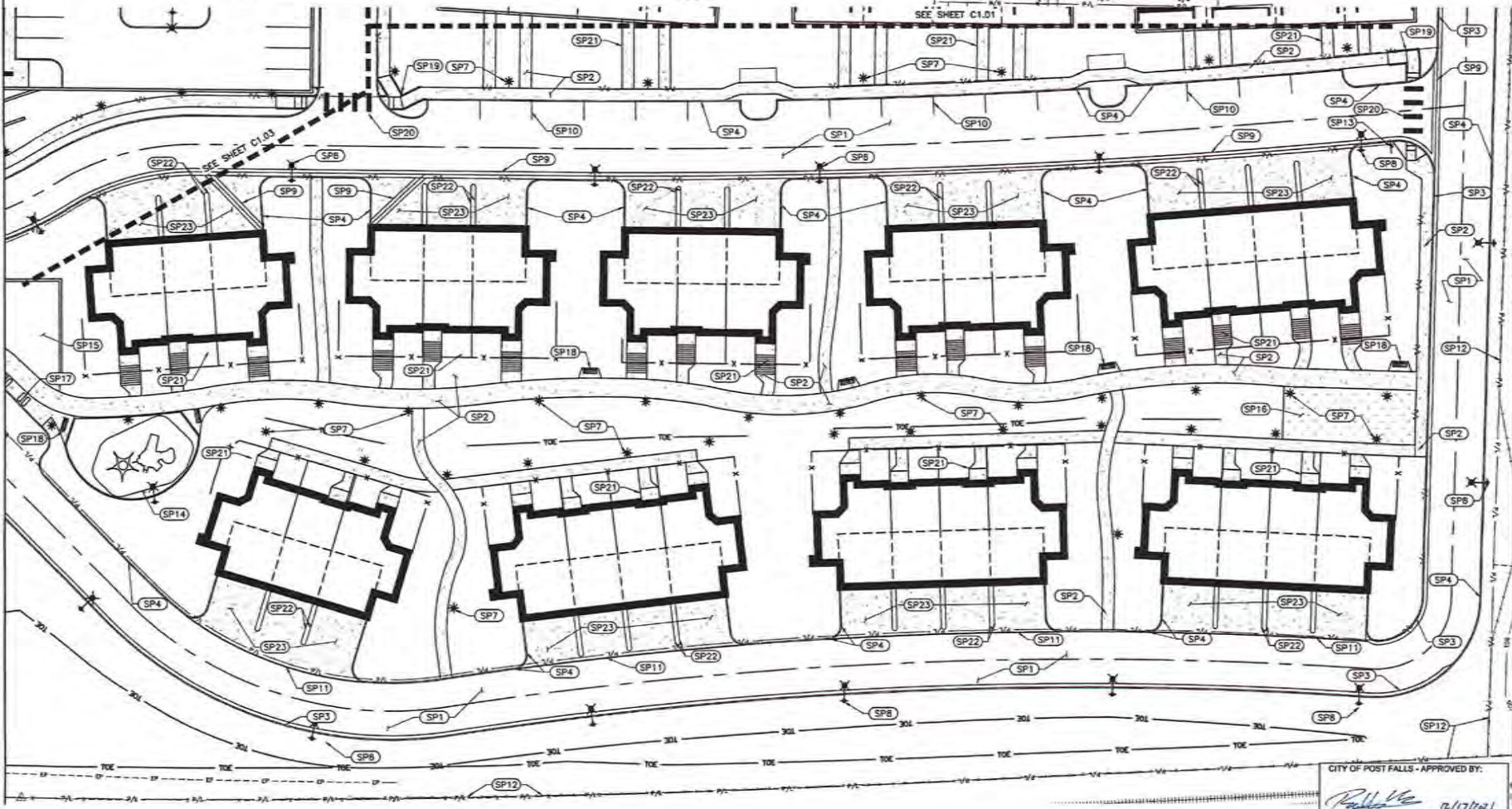
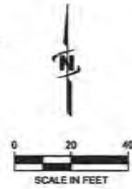
1. ON-SITE LIGHTING SHOWN ON SEPARATE ELECTRICAL PLAN SUBMITTAL. SEE PLANS BY OTHER FOR LIGHTING LAYOUT.

KEYED NOTES:

SITE PLAN

- (SP1) STANDARD DUTY ASPHALT PAVEMENT
- (SP2) CONCRETE SIDEWALK PER CITY STD DWG SD 2012. TYP. SEE ARCHITECTURAL/LANDSCAPE PLANS FOR JOINT PATTERNS.
- (SP3) CONCRETE CURB AND GUTTER PER CITY STANDARD DETAIL SD 2010
- (SP4) STANDARD STRAIGHT CURB PER CITY OF POST FALLS STANDARD DETAIL SD 2009
- (SP5) NOT USED
- (SP6) 4" WHITE SOLID PAINT STRIPE, TYP.
- (SP7) ON SITE LOW LEVEL BOLLARD LIGHT, TYP. SEE SITE LIGHTING PLAN FOR ADDITIONAL DETAILS
- (SP8) ON SITE STREET LIGHTS, TYP. (20'H MAX). SEE SITE LIGHTING PLAN FOR ADDITIONAL DETAILS
- (SP9) VALLEY GUTTER PER ISFCW SD-706, MODIFIED TO 3" W. TYP.
- (SP10) 4" WHITE SOLID PAINT STRIPE AT 22' O.C. TYP.
- (SP11) EDGE OF PAVEMENT, TYP.

- (SP12) RETAIN AND PROTECT EXISTING FENCE
- (SP13) POST MOUNTED "STOP" SIGN (R1-1) WITH "MILLWORX LP" STREET SIGN WITH BLUE BASE (PRIVATE) AND "RAILROAD AVE" STREET SIGN WITH BLUE BASE (PRIVATE) PER CITY STD DWGS SD 2017 AND SD 2018.
- (SP14) PLAYGROUND - SEE LANDSCAPE PLANS
- (SP15) DOG PARK - SEE LANDSCAPE PLANS
- (SP16) COMMUNITY GARDEN - SEE LANDSCAPE PLANS
- (SP17) MAILBOXES - SEE ARCHITECTURAL/LANDSCAPE PLANS FOR DETAILS
- (SP18) BENCHES, TYP. SEE LANDSCAPE PLANS.
- (SP19) PEDESTRIAN RAMP, TYP.
- (SP20) HIGH VISIBILITY CROSSWALK AND SIGNAGE PER CITY STD DWG SD 2021.
- (SP21) SEE ARCHITECTURAL AND LANDSCAPE FOR STEPS (NOT SHOWN), FENCES, AND OTHER DETAIL ON INDIVIDUAL SIDEWALKS TO RESIDENCES, TYP.
- (SP22) EDGE OF CONCRETE LANDSCAPE STRIP. SEE LANDSCAPE PLANS FOR SURFACING
- (SP23) CONCRETE PAVEMENT



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Project No. 20-05-002

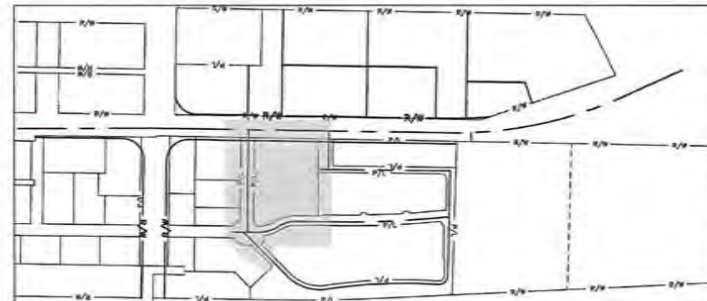
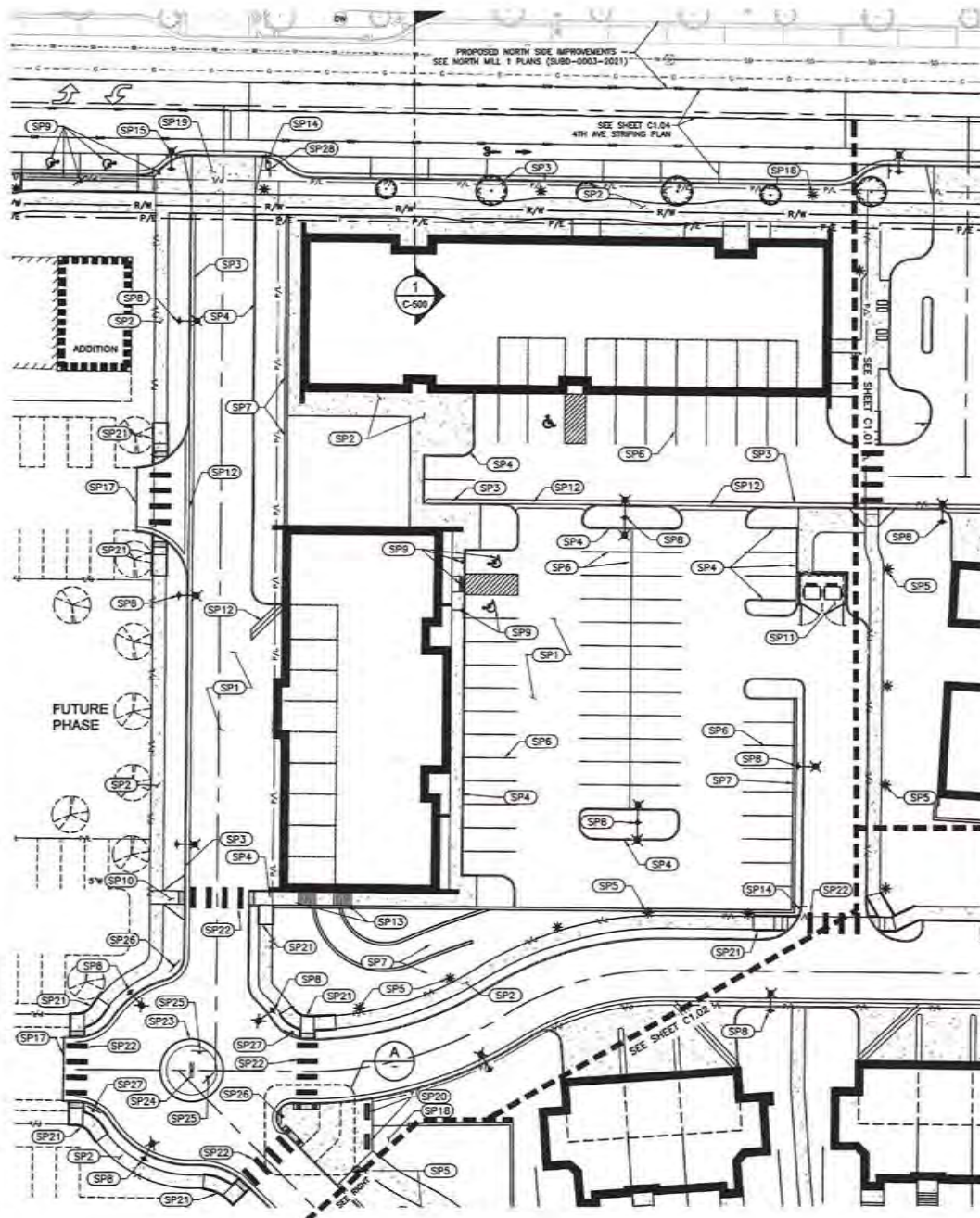
Date: 5-7-2021

Drawn By: DCH

Checked By: PSH

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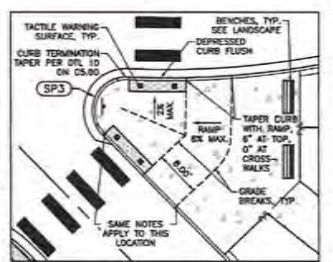
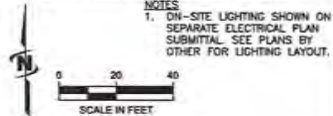
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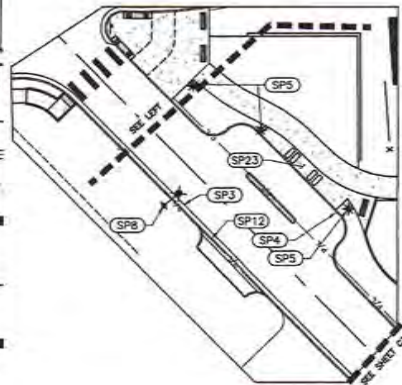
KEYED NOTES:

- SITE PLAN**
- (SP1) STANDARD DUTY ASPHALT PAVEMENT
 - (SP2) CONCRETE SIDEWALK PER CITY STD DWG SD 2012, SEE ARCHITECTURAL/LANDSCAPE PLANS FOR JOINT PATTERNS.
 - (SP3) CONCRETE CURB AND GUTTER PER CITY STD DWG SD 2010
 - (SP4) STANDARD STRAIGHT CURB PER CITY STD DWG SD 2009
 - (SP5) ON SITE, LOW LEVEL BOLLARD LIGHT, TYP. SEE SITE LIGHTING PLAN FOR ADDITIONAL DETAILS
 - (SP6) 4" WHITE SOLID PAINT STRIPE, TYP.
 - (SP7) RETAINING WALLS BY OTHERS, TYP. SEE STRUCTURAL/ARCHITECTURAL PLANS.
 - (SP8) ON SITE STREET LIGHTS, TYP. (20' MAX). SEE SITE LIGHTING PLAN FOR ADDITIONAL DETAILS
 - (SP9) ADA PARKING SIGN, SIGN BASE, PARKING SYMBOL, AND TACTILE WARNING SURFACE PER CITY STD DWG SD 2013.
 - (SP10) PEDESTRIAN RAMP, TYPE A, PER CITY STD DWG SD 2013.
 - (SP11) TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAILS.
 - (SP12) VALLEY GUTTER PER ISPCW SD-708, MODIFIED TO 3" W.
 - (SP13) STAIRS, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
 - (SP14) POST MOUNTED SPEED LIMIT SIGN R2-1 (25 MPH) FACING WEST PER CITY STD DWG SD 2017.
 - (SP15) COBRA HEAD STYLE STREET LIGHT (100W EQUIVALENT LED) ON STEEL POLE PER CITY OF POST FALLS AND AVISTA STANDARDS, TYP. CONTRACTOR TO COORDINATE WITH ELECTRICAL AND AVISTA DESIGNS. 100' SPACING, TYP.
 - (SP16) ANTIQUE DECORATIVE PEDESTRIAN LIGHT WITH HANOVER PENDANT FIXTURE (LITHONIA EHL16 RT 49LED 525MA 4K GCF MVOLT R3 DBLUQ), ARM (LITHONIA EAHHW/B0), AND CONCRETE POLE (AMERON SB119SPL), TYP. CONTRACTOR TO COORDINATE WITH ELECTRICAL AND AVISTA DESIGNS. 100' SPACING, TYP.
 - (SP17) EDGE OF PAVEMENT, NO CURB, TYP.

- (SP18) DOG PARK - SEE LANDSCAPE PLANS FOR DETAILS
- (SP19) 24' WIDE DRIVEWAY APPROACH TYPE B PER CITY STD DWG SD 2015
- (SP20) BENCHES, TYP. SEE LANDSCAPE PLANS.
- (SP21) PEDESTRIAN RAMP, TYP. AND TACTILE WARNING SURFACE PER CITY STD DWG SD 2013.
- (SP22) HIGH VISIBILITY CROSSWALK AND SIGNAGE PER CITY STD DWG SD 2021.
- (SP23) MAILBOXES - SEE ARCHITECTURAL/LANDSCAPE PLANS FOR DETAILS
- (SP24) POST MOUNTED, DOUBLE SIDED, YELLOW REFLECTOR SIGN OM1-1, 18"x18" MIN.
- (SP25) POST MOUNTED, YELLOW REFLECTOR SIGN OM1-1, 18"x18" MIN.
- (SP26) "MILLWORK LP" STREET SIGN WITH BLUE BASE (PRIVATE) PER CITY STD DWG SD 2018.
- (SP27) "RAILROAD AVE" STREET SIGN WITH BLUE BASE (PRIVATE) PER CITY STD DWG SD 2018.
- (SP28) "MILLWORK LP" STREET SIGN WITH BLUE BASE (PRIVATE) AND "4TH AVE" STREET SIGN WITH GREEN BASE (PUBLIC) PER CITY STD DWG SD 2018.



A DETAIL SCALE: 1"=10'



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 Wolfe Architectural Group
 1010 N. College Street Suite 107
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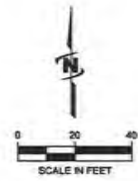
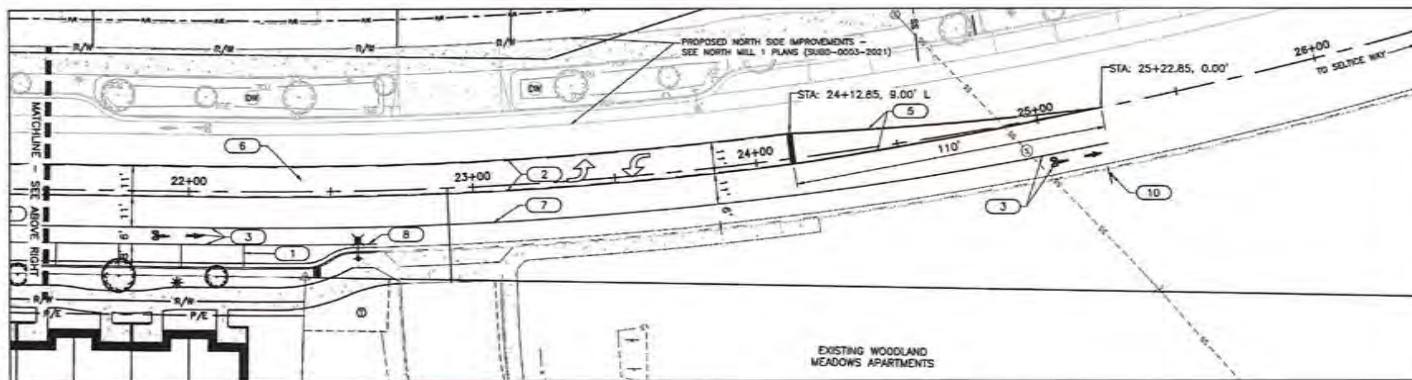
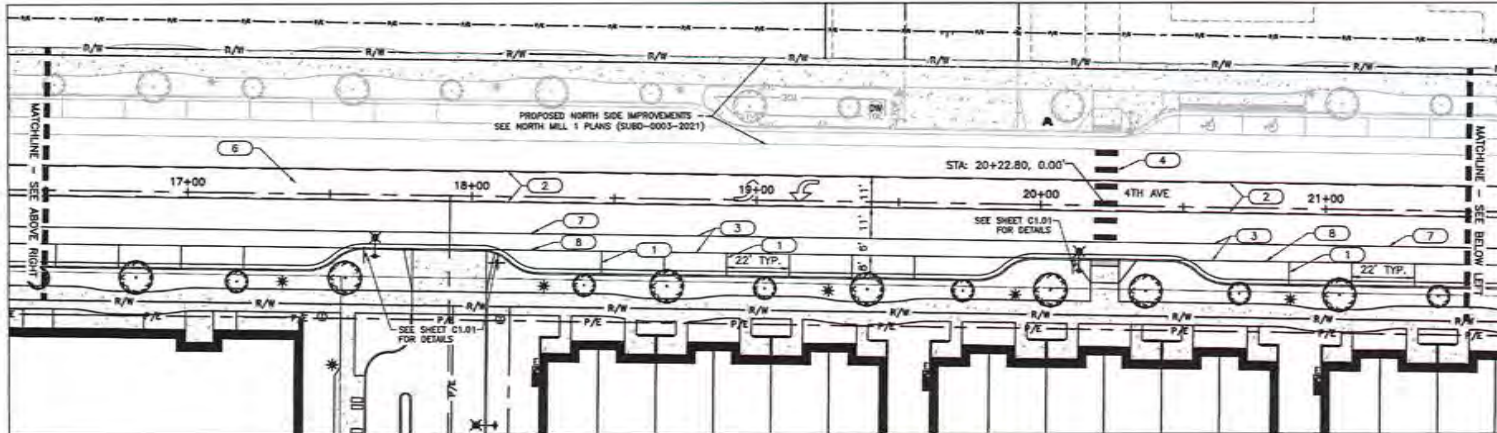
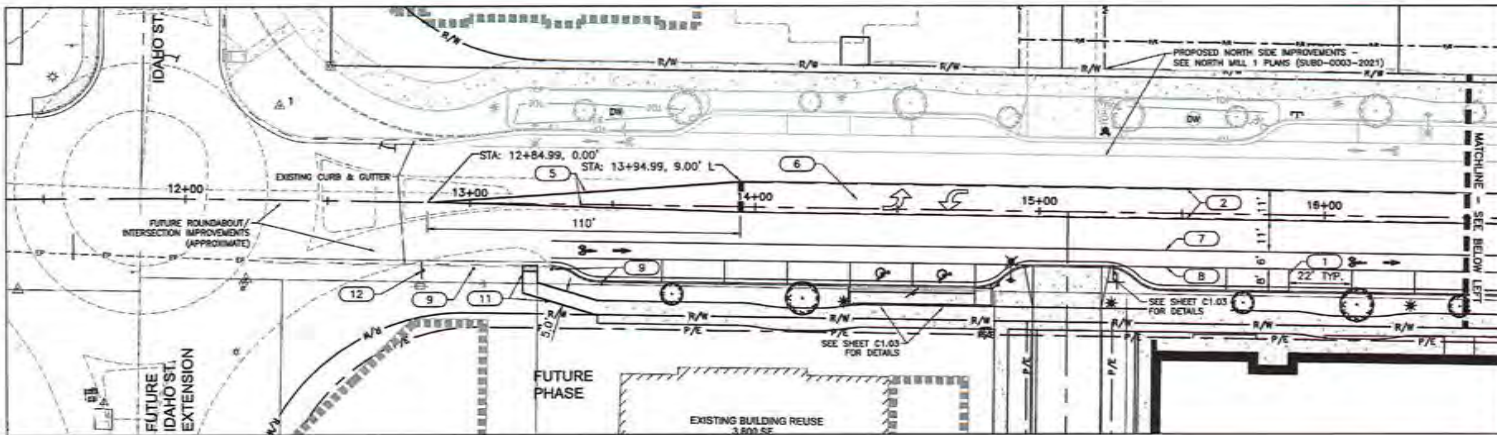
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 Date: 6-7-2021
 Drawn By: OCH
 Checked By: PSD
 Sheet No.:

CITY OF POST FALLS - APPROVED BY:

 CITY ENGINEER 12/17/2021

C1.03



KEYED NOTES:

- STRIPING
- 1 4" WHITE SOLID PAINT STRIPE @ 22' O.C., TYP.
 - 2 CENTER TURN LANE MARKINGS PER CITY STD DWG SD 2019. ARROWS (WHITE) AND 24" BAR (YELLOW) TO BE THERMOPLASTIC
 - 3 BIKE LANE LINES WITH THERMOPLASTIC HELMETED BICYCLIST SYMBOL AND ARROW (600' SPACING) PER MUTCD
 - 4 HIGH VISIBILITY THERMOPLASTIC PEDESTRIAN CROSSING AND PED X-ING SIGNS PER CITY STD DWG SD 2021
 - 5 DOUBLE YELLOW STRIPES, TYP.
 - 6 OBLITERATE EXISTING CENTERLINE SKIP STRIPE BY SAND BLASTING OR HYDRAULIC BLASTING.
 - 7 6" WHITE SOLID PAINT
 - 8 4" WHITE SOLID PAINT
 - 9 SINGLE WHITE DELINEATOR PER ITS STD DWG 517-1
 - 10 POST MOUNTED BIKE LANE ENDS SIGN R3-17 WITH R3-17bP
 - 11 TEMPORARY PEDESTRIAN ACCESS RAMP WITH TACTILE WARNING SURFACE ADA RAMP MAX. RUNNING SLOPE SIX
 - 12 POST MOUNTED BIKE LANE AHEAD SIGN R3-17 WITH R3-17bP



4TH AVE STRIPING PLAN

MILLWORK PHASE 1
A&A CONSTRUCTION & DEVELOPMENT
POST FALLS, ID

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Project No.: 20-20-005
Date: 6-1-2021
Drawn By: CCH
Checked By: PSI
Sheet No.:
C1.04

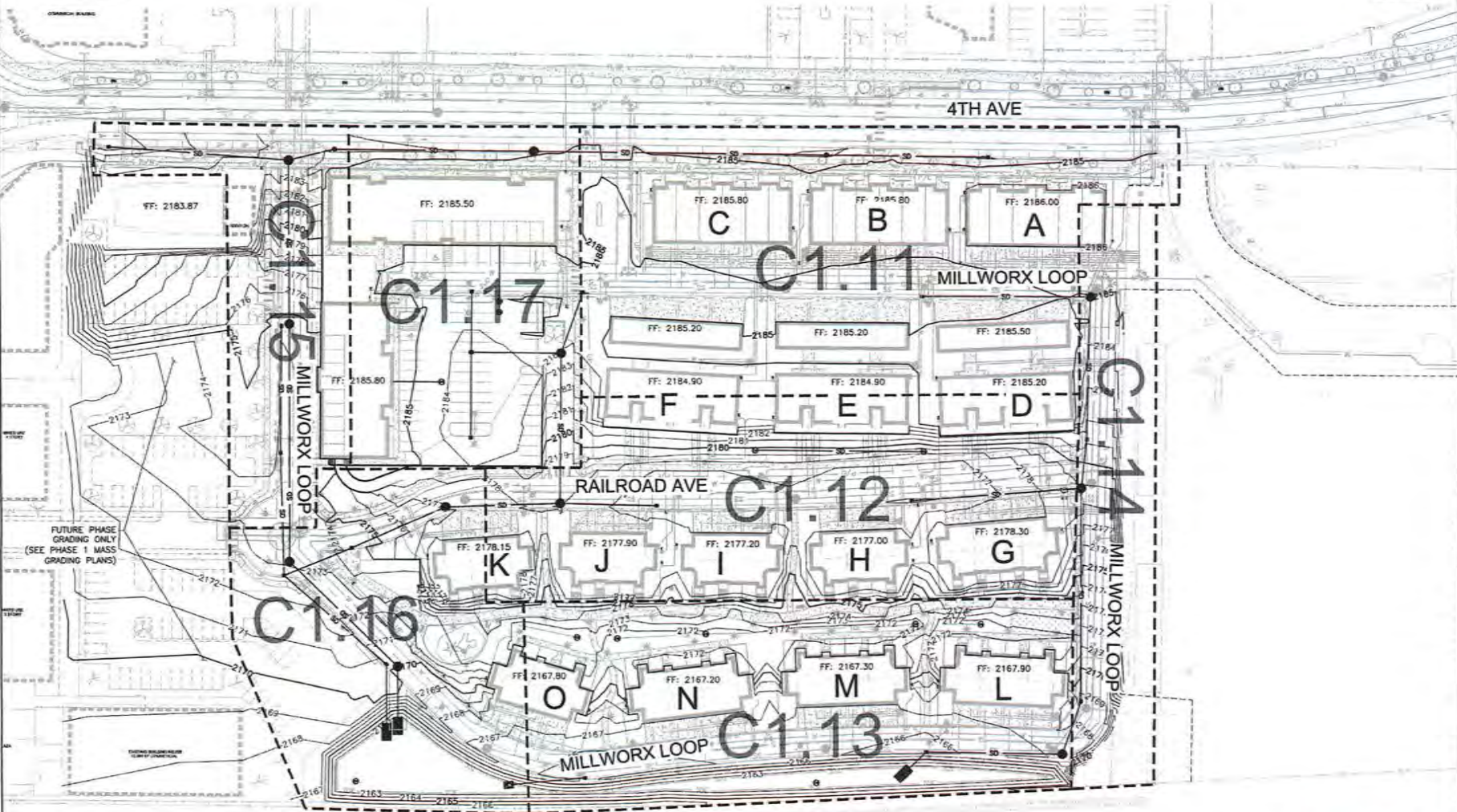


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GRADING ONLY
(SEE PHASE 1 MASS
GRADING PLANS)

OVERALL GRADING PLAN
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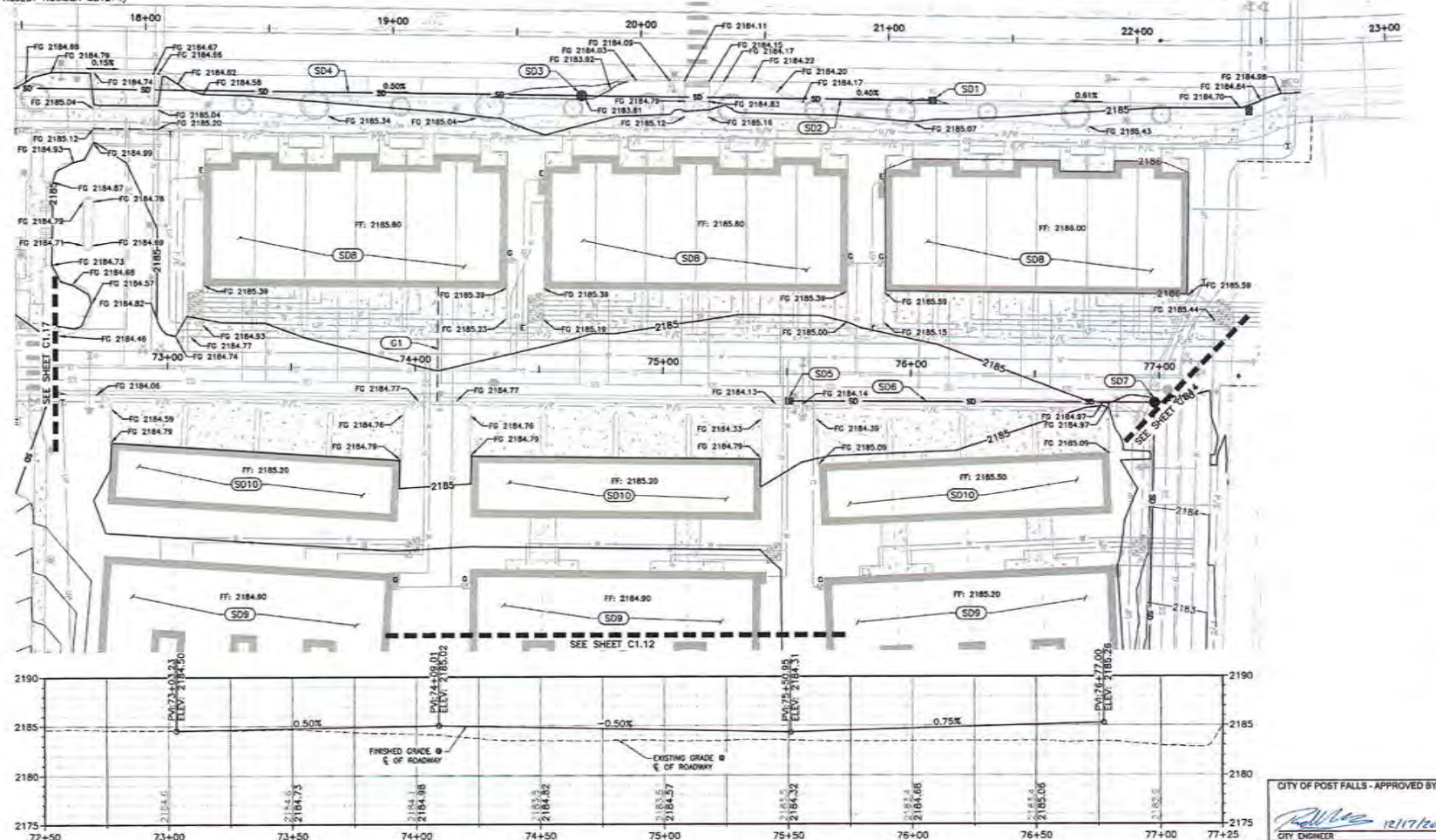
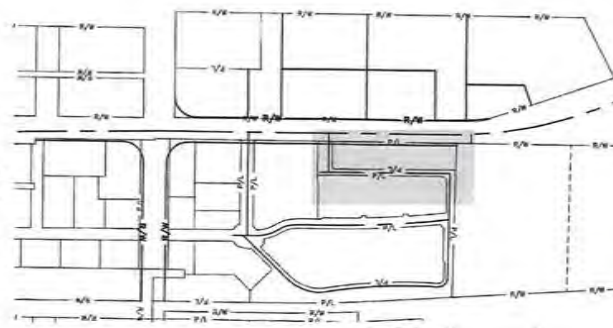
NOTES:

1. FG ELEVATIONS AT CURBS ARE GUTTER FLOWLINE OR PAVEMENT ELEVATION AT FACE OF CURB, UNLESS NOTED OTHERWISE.
2. SEE GEOTECHNICAL ENGINEERING REPORTS BY JOHN FINNEGAN, PE OF BUDINGER & ASSOCIATES:
 - 2.1. WOODLAND MEADOWS PHASE II DATED AUGUST 5, 2019 (BAI PROJECT NUMBER S19503) AND
 - 2.2. WOODLAND MEADOWS PHASE 4 DATED MAY 14, 2021. (BAI PROJECT NUMBER S21274)

KEYED NOTES:

- GRADING**
- (B1) GRADE BREAK
- STORM DRAIN**
- (S01) SDCB W/ GRATED LID PER CITY STD DWG 602 RIM: 2183.96 INV OUT: 2181.26 (W)
 - (S02) 8" SD (±140 LF) @ 0.5% SLOPE
 - (S03) SDMH W/ GRATED LID PER CITY STD DWG 501 RIM: 2183.81 INV IN: 2180.56 (E) INV OUT: 2180.46 (W)
 - (S04) 8" SD (±256 LF) @ 0.5% SLOPE
 - (S05) SDCB W/ GRATED LID PER CITY STD DWG 602 RIM: 2184.02 INV OUT: 2181.14 (E)
 - (S09) 10" SD (±147 LF) @ 1.0% SLOPE

- (S07) SDMH W/ SOLID LID PER CITY STD DWG 501 RIM: 2184.09 INV IN: 2179.67 (W) INV OUT: 2179.57 (S)
- (S08) BUILDING ROOFS TO DRAIN SOUTH TO PRIVATE STORM DRAIN (SOUTH). SHEET FLOW ALLOWED OR DESIGN-BUILD ROOF GUTTER COLLECTION SYSTEM AND COORDINATE WITH BUILDING GUTTER DOWNSPOUT LOCATIONS. MINIMUM SEPARATION FROM POTABLE WATER LINES PER DETAIL 3 ON SHEET C5.01 IF PIPED.
- (S09) BUILDING ROOFS TO DRAIN SOUTH TO DRYWELLS IN LANDSCAPING (SEE SHEET C-12). SHEET FLOW ALLOWED OR DESIGN-BUILD ROOF GUTTER COLLECTION SYSTEM AND COORDINATE WITH BUILDING GUTTER DOWNSPOUT LOCATIONS. MINIMUM SEPARATION FROM POTABLE WATER LINES PER DETAIL 3 ON SHEET C5.01 IF PIPED.
- (S07) BUILDING ROOFS TO DRAIN SOUTH TO PRIVATE STORM DRAIN (NORTH). SHEET FLOW ALLOWED OR DESIGN-BUILD ROOF GUTTER COLLECTION SYSTEM AND COORDINATE WITH BUILDING GUTTER DOWNSPOUT LOCATIONS. MINIMUM SEPARATION FROM POTABLE WATER LINES PER DETAIL 3 ON SHEET C5.01 IF PIPED.



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(JUB)
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Phone: 208.762.8707
www.jub.com

Project No. 20-20-008
Date: 6-7-2021
Drawn By: CCH
Checked By: PSI

CITY OF POST FALLS - APPROVED BY:

CITY ENGINEER

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- NOTES:
1. FG ELEVATIONS AT CURBS ARE GUTTER FLOWLINE OR PAVEMENT ELEVATION AT FACE OF CURB, UNLESS NOTED OTHERWISE.
 2. SEE GEOTECHNICAL ENGINEERING REPORTS BY JOHN FINNEGAN, PE OF BUDINGER & ASSOCIATES:
 - 2.1. WOODLAND MEADOWS PHASE III DATED AUGUST 5, 2019 (BAI PROJECT NUMBER S19503), AND
 - 2.2. WOODLAND MEADOWS PHASE 4 DATED MAY 14, 2021. (BAI PROJECT NUMBER S21274)

KEYED NOTES:

GRADING

- (G1) GRADE BREAK
- (G2) REFER TO STRUCTURAL PLANS FOR RETAINING WALL DETAILS

STORM DRAIN

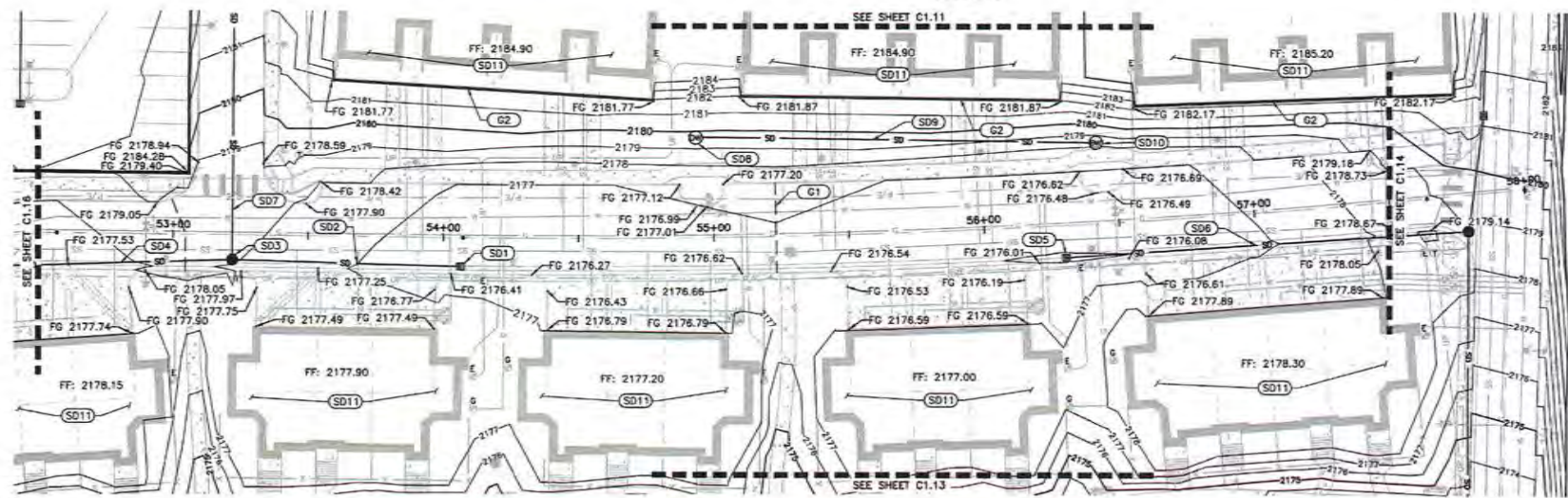
- (SD1) SDCB #1 W/ GRATED LID PER CITY STD DWG SD 602 RIM: 2176.36 INV OUT: 2173.64 (W)
- (SD2) 8" SD (±84 LF) @ 0.5% SLOPE
- (SD3) SDCB W/ SOLID LID PER CITY STD DWG SD 501 RIM: 2178.04 INV IN: 2173.22 (E) INV OUT: 2167.56 (W)
- (SD4) 12" SD (±100 LF) @ 1.0% SLOPE
- (SD5) SDCB W/ GRATED LID PER CITY STD DWG SD 602 RIM: 2175.91 INV OUT: 2173.24 (E)
- (SD6) 8" SD (±148 LF) @ 0.5% SLOPE
- (SD7) 10" SD (±134 LF) @ 8.2% SLOPE

- (SD8) DOUBLE DEPTH DRYWELL PER CITY STD DWG SD 601. RIM: 2179.65 (SOLID LID, FLUSH WITH SURROUNDING GRADES) INV.: 2175.69 (E)
- (SD9) 8" SD (±144 LF) @ 0.0% SLOPE
- (SD10) DOUBLE DEPTH DRYWELL PER CITY STD DWG SD 601. RIM: 2178.36 (SOLID LID, FLUSH WITH SURROUNDING GRADES) INV.: 2175.69 (W)
- (SD11) BUILDING ROOFS TO DRAIN SOUTH TO DRYWELLS IN LANDSCAPING. SHEET FLOW ALLOWED OR DESIGN-BUILD ROOF GUTTER COLLECTION SYSTEM AND COORDINATE WITH BUILDING GUTTER DOWNSPOUT LOCATIONS. MINIMUM SEPARATION FROM POTABLE WATER LINES PER DETAIL 3 ON SHEET C5.01 IF PIPED.



PROFESSIONAL ENGINEER
11327
PAUL FINNEGAN
PE
CIVIL ENGINEER

STATE OF IDAHO
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PARTIAL GRADING PLAN

MILLWORX PHASE 1
A&A CONSTRUCTION & DEVELOPMENT
POST FALLS, ID

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Spokane, Washington 99201
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www.wagwa.com

JUB
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7825 Meadowlark Way
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Project No.: 25-20-008
Date: 6-3-2021
Drawn By: CCH
Checked By: PFI
Sheet No.:

CITY OF POST FALLS - APPROVED BY:
Paul Finnegan 12/17/2021
P.F. FINNEGAN

C1.12



Know what's below.
Call before you dig.

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KEYED NOTES:

GRADING

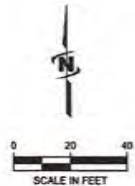
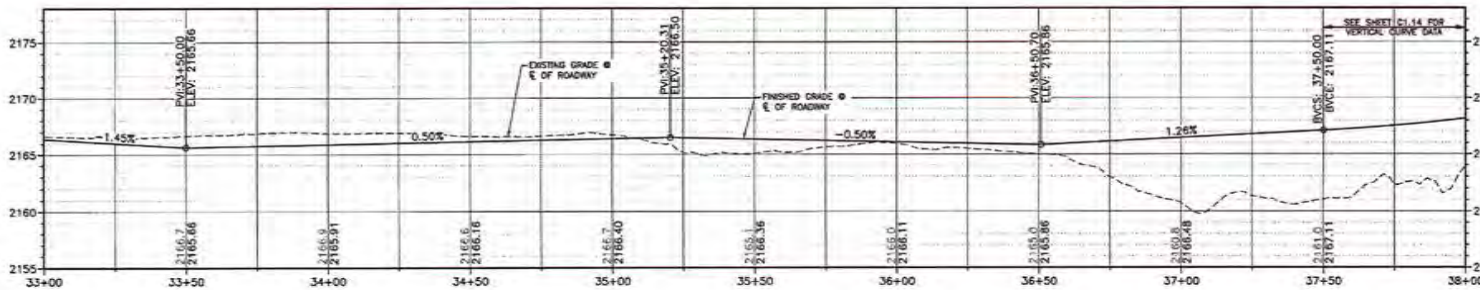
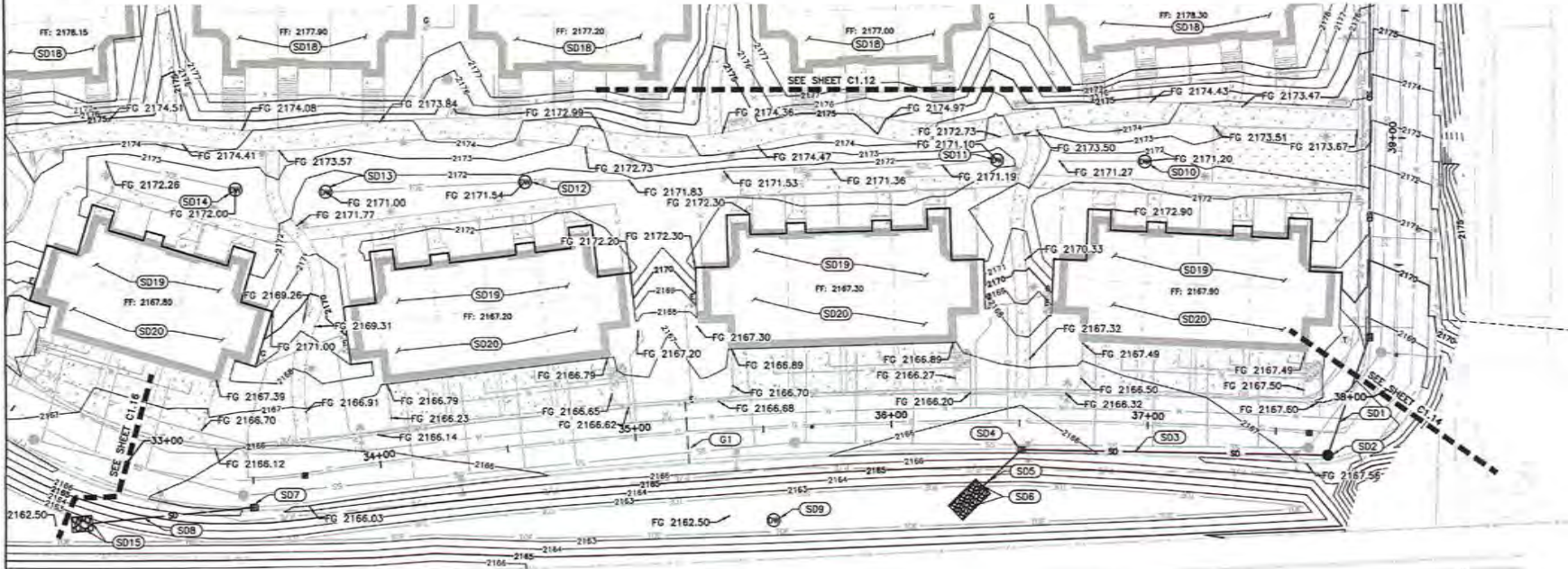
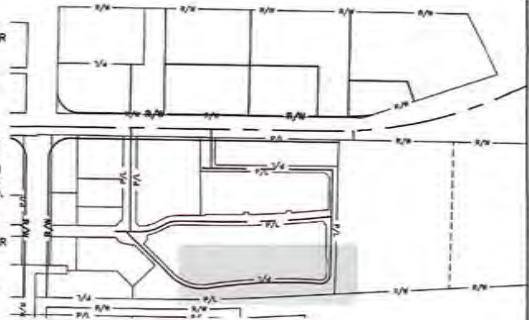
(G1) GRADE BREAK

STORM DRAIN

- (SD1) 10" SD (#50 LF) @ 2.3% SLOPE
- (SD2) SDMH W/ SOLID LID PER CITY STD DWG SD 501
RIM: 2167.27
INV IN: 2164.35 (NE)
INV OUT: 2164.15 (W)
- (SD3) 12" SD (#120 LF) @ 0.9% SLOPE
- (SD4) SDCB W/ GRATED LID PER CITY STD DWG SD 602
RIM: 2165.82
INV IN: 2163.07 (E)
INV OUT: 2162.97 (SW)
- (SD5) 12" SD (#21 LF) @ 1.5% SLOPE
- (SD6) SPLASH PAD 6"X15"L, 6"± RIPRAP 12" DEEP
PIPE INV: 2162.66

- (SD7) SDCB W/ GRATED LID PER CITY STD DWG SD 602
RIM: 2165.44
INV OUT: 2162.74 (SW)
- (SD8) 6" SD (#64 LF) @ 0.4% SLOPE
- (SD9) DOUBLE DEPTH DRYWELL PER CITY STD DWG SD 601.
RIM: 2163.00 (6" ABOVE SWALE BOTTOM)
- (SD10) SINGLE DEPTH DRYWELL PER CITY STD DWG SD 601.
RIM: 2171.20 (FLUSH WITH SURROUNDING GRADES)
- (SD11) SINGLE DEPTH DRYWELL PER CITY STD DWG SD 601.
RIM: 2171.10 (FLUSH WITH SURROUNDING GRADES)
- (SD12) SINGLE DEPTH DRYWELL PER CITY STD DWG SD 601.
RIM: 2171.54 (FLUSH WITH SURROUNDING GRADES)
- (SD13) SINGLE DEPTH DRYWELL PER CITY STD DWG SD 601.
RIM: 2171.00 (FLUSH WITH SURROUNDING GRADES)
- (SD14) SPLASH PAD 6"X15"L, 6"± RIPRAP 12" DEEP
PIPE INV: 2162.50
- (SD15) SPLASH PAD 6"X15"L, 6"± RIPRAP 12" DEEP
PIPE INV: 2162.50
- (SD16) SPLASH PAD 6"X15"L, 6"± RIPRAP 12" DEEP
PIPE INV: 2162.50
- (SD17) SPLASH PAD 6"X15"L, 6"± RIPRAP 12" DEEP
PIPE INV: 2162.50

- (B1) BUILDING ROOFS TO DRAIN SOUTH TO DRYWELLS IN LANDSCAPING. SHEET FLOW ALLOWED OR DESIGN-BUILD ROOF GUTTER COLLECTION SYSTEM AND COORDINATE WITH BUILDING GUTTER DOWNSPOUT LOCATIONS. MINIMUM SEPARATION FROM POTABLE WATER LINES PER DETAIL 3 ON SHEET C5.01 IF PIPED.
- (B2) NORTH HALF OF BUILDING ROOFS TO DRAIN NORTH TO DRYWELLS IN LANDSCAPING. SHEET FLOW ALLOWED OR DESIGN-BUILD ROOF GUTTER COLLECTION SYSTEM AND COORDINATE WITH BUILDING GUTTER DOWNSPOUT LOCATIONS. MINIMUM SEPARATION FROM POTABLE WATER LINES PER DETAIL 3 ON SHEET C5.01 IF PIPED.
- (B3) SOUTH HALF OF BUILDING ROOFS TO DRAIN SOUTH TO PRIVATE STORM DRAIN (SOUTH) OR SWALE. SHEET FLOW ALLOWED OR DESIGN-BUILD ROOF GUTTER COLLECTION SYSTEM AND COORDINATE WITH BUILDING GUTTER DOWNSPOUT LOCATIONS. MINIMUM SEPARATION FROM POTABLE WATER LINES PER DETAIL 3 ON SHEET C5.01 IF PIPED.



CITY OF POST FALLS - APPROVED BY:

[Signature]
CITY ENGINEER



STATE OF IDAHO
J. B. WAG
11223
PE No. 11223
EXPIRES 12/31/2024

PARTIAL GRADING PLAN

MILLWORK PHASE 1

A&A CONSTRUCTION & DEVELOPMENT

POST FALLS, ID

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(JOB)

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Phone: 208.762.8707
www.jba.com

Project No.: 20-28-083
Date: 6-7-2021
Drawn By: CCH
Checked By: PDI

Sheet No.

C1.13



Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

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 - 2.2. WOODLAND MEADOWS PHASE 4 DATED MAY 14, 2021, (BAI PROJECT NUMBER S21274)

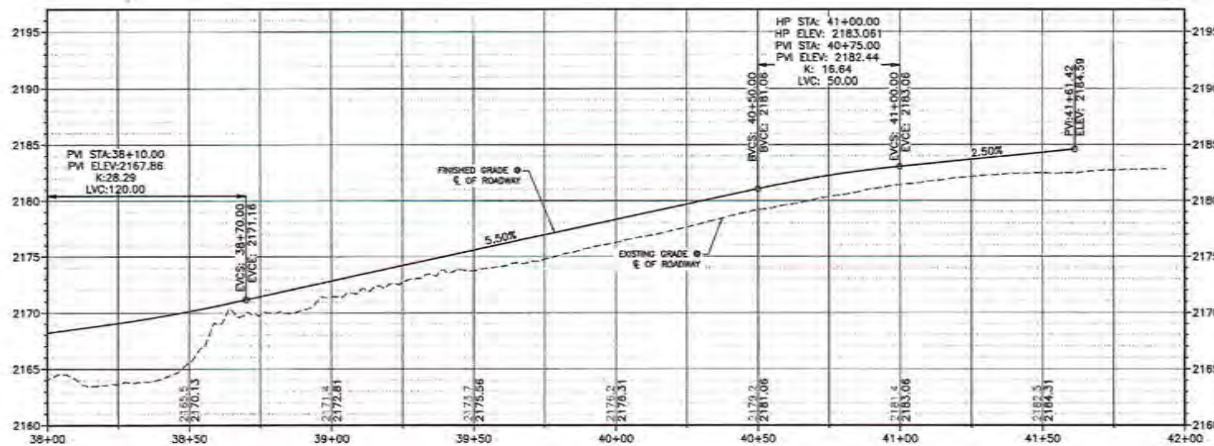
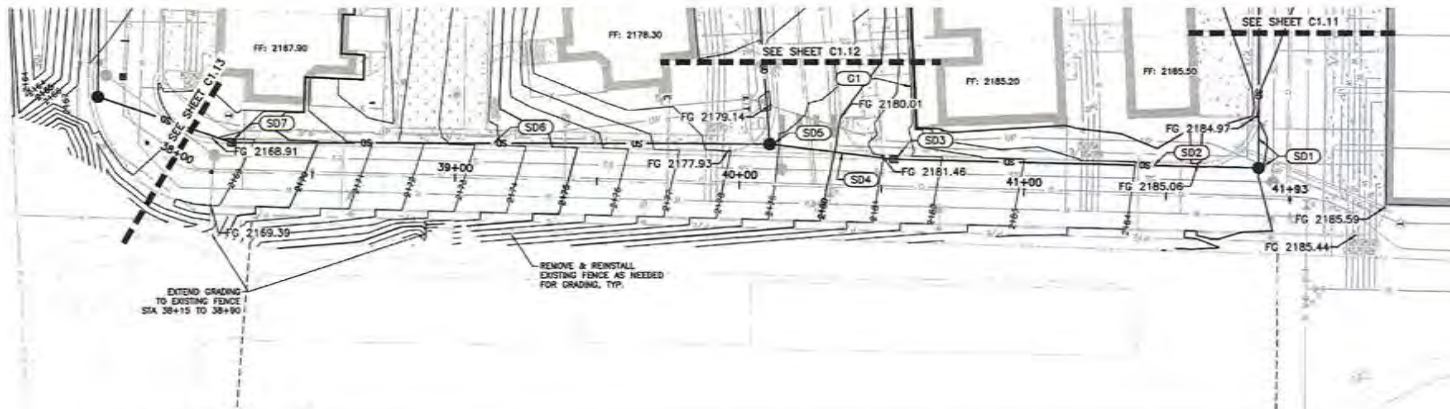
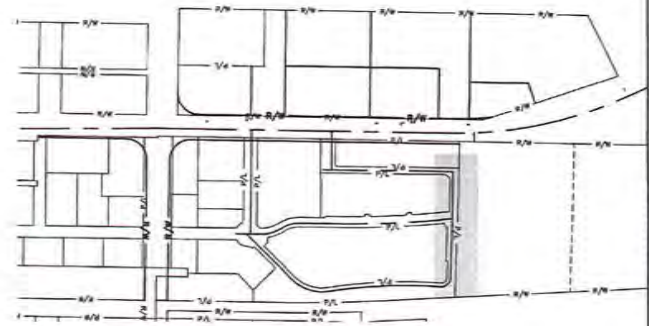
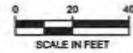
KEYED NOTES:

GRADING

(G1) REFER TO STRUCTURAL PLANS FOR RETAINING WALL DETAILS

STORM DRAIN

- (S01) SEE SHEET C-1.11
- (S02) 10" SD (± 128 LF) @ 1.0% SLOPE
- (S03) SDCB W/ GRATED LID PER CITY STD DWG SD 602 RIM: 2181.19 INV IN: 2178.29 (N) INV OUT: 2178.19 (S)
- (S04) 10" SD (± 44 LF) @ 5.2% SLOPE
- (S05) SDCB W/ SOLID LID PER CITY STD DWG SD 501 RIM: 2178.82 INV IN: 2175.90 (N) INV IN: 2172.50 (W) INV OUT: 2172.40 (S)
- (S06) 10" SD (± 189 LF) @ 3.6% SLOPE
- (S07) SDCB W/ GRATED LID PER CITY STD DWG SD 602 RIM: 2168.67 INV IN: 2165.60 (N) INV OUT: 2165.50 (S)



CITY OF POST FALLS - APPROVED BY:

 CITY ENGINEER



BY USE OF INSTRUMENT NO. 1122, I HEREBY CERTIFY THAT THE ENGINEER HAS REVIEWED ALL CHANGES, ADDITIONS, CORRECTIONS AND OTHER REVISIONS TO THESE DRAWINGS, AND THE SAME SHALL NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. ANY REVISIONS MADE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY ON THE PART OF THE ENGINEER.

PARTIAL GRADING PLAN

MILLWORX PHASE 1
 A&A CONSTRUCTION & DEVELOPMENT
 POST FALLS, ID

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JUB
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 www.jub.com

Project No: 20-20-008
 Date: 6-7-2021
 Drawn By: CCH
 Checked By: PSI
 Sheet No:

C1.14



Know what's below.
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KEYED NOTES:

GRADING

- (G1) REFER TO STRUCTURAL PLANS FOR RETAINING WALL DETAILS
- (G2) ADA PARKING AND ACCESS AISLE, MAX 2% SLOPE IN ALL DIRECTIONS

STORM DRAIN

- (SD1) 8" SD (±108 LF) @ 1.0% SLOPE
- (SD2) SDCB W/ GRATED LID PER CITY STD DWG SD 602 RIM: 2173.38 INV IN: 2170.59 (N) INV OUT: 2166.83 (S)
- (SD3) 8" SD (±113 LF) @ 0.9% SLOPE
- (SD4) SDCB W/ GRATED LID PER CITY STD DWG SD 602 RIM: 2174.34 INV OUT: 2171.61 (S)
- (SD5) 8" SD (±42 LF) @ 1.0% SLOPE
- (SD6) SDCB W/ GRATED LID PER CITY STD DWG SD 602 RIM: 2183.31 INV IN: 2178.21 (E) INV OUT: 2176.35 (W)

(SD7) 8" SD (±146 LF) @ 3.0% SLOPE

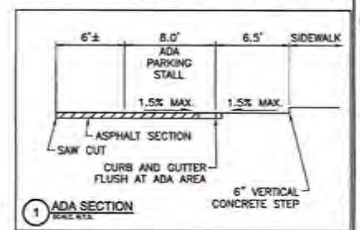
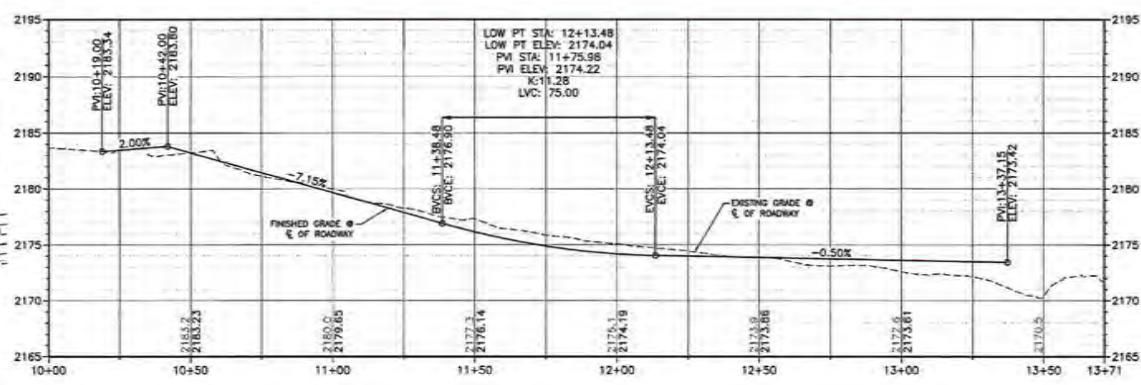
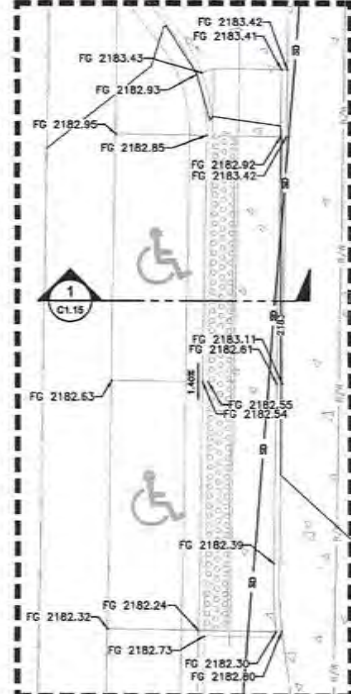
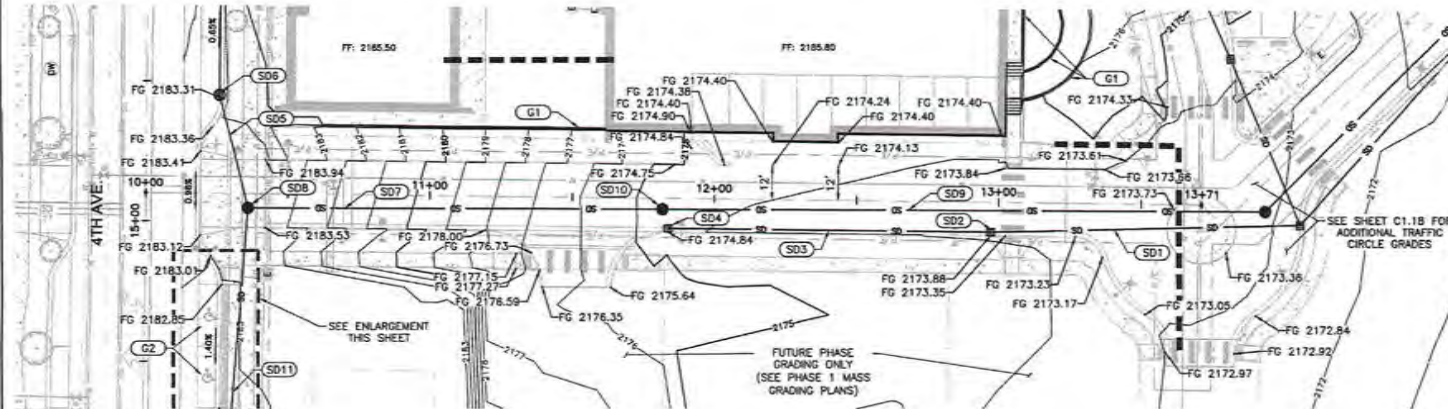
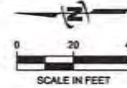
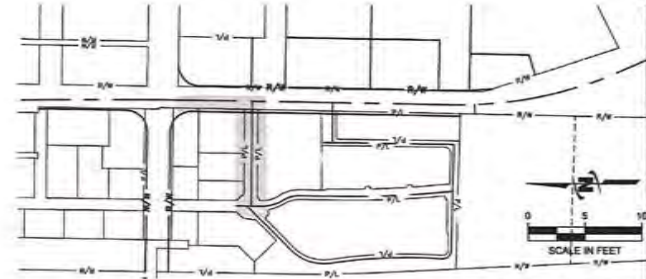
(SD8) SDMH W/ SOLID LID PER CITY STD DWG SD 501 RIM: 2183.48 INV IN: 2175.93 (E) INV IN: 2176.71 (W) INV OUT: 2175.83 (S)

(SD9) 8" SD (±213 LF) @ 1.0% SLOPE

(SD10) SDMH W/ SOLID LID PER CITY STD DWG SD 501 RIM: 2174.57 INV IN: 2171.45 (N) INV OUT: 2168.03 (S)

(SD11) 8" SD (±158 LF) @ 0.5% SLOPE

(SD12) SDCB W/ GRATED LID PER CITY STD DWG SD 602 RIM: 2180.20 INV OUT: 2177.50 (E)



PARTIAL GRADING PLAN

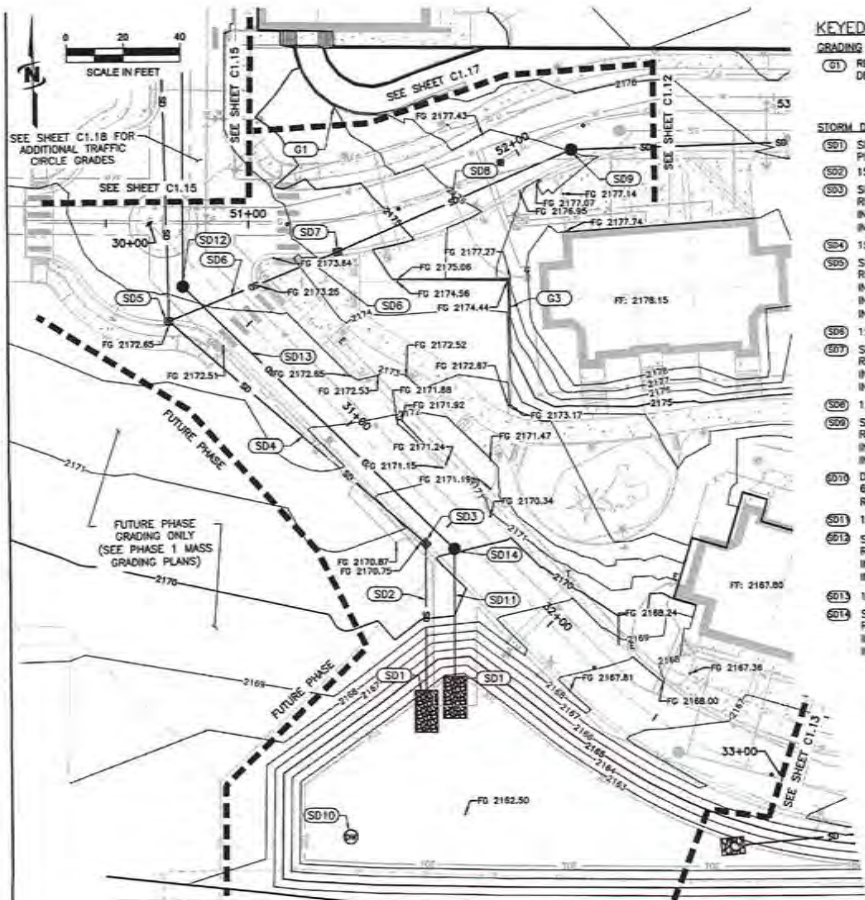
MILLWORX PHASE 1
A&A CONSTRUCTION & DEVELOPMENT
POST FALLS, ID

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CITY OF POST FALLS - APPROVED BY:
[Signature]
CITY ENGINEER

Sheet No. C1.15



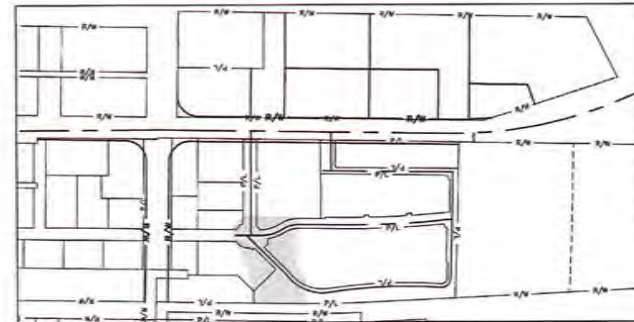
KEYED NOTES:

GRADING

(G1) REFER TO STRUCTURAL PLANS FOR RETAINING WALL DETAILS

STORM DRAIN

- (S01) SPLASH PAD 8"WX15'L, 6"± RIPRAP 12" DEEP
PIPE INV.: 2162.80
- (S02) 15" SD (±50 LF) @ 1.0% SLOPE
- (S03) SDCB W/ GRATED LID PER CITY STD DWG SD 802
RIM: FG 2170.21
INV IN: 2163.42 (NW)
INV OUT: 2163.30 (S)
- (S04) 15" SD (±120 LF) @ 1.0% SLOPE
- (S05) SDCB W/ GRATED LID PER CITY STD DWG SD 602
RIM: FG 2172.85
INV IN: 2165.75 (N)
INV IN: 2164.72 (E)
INV OUT: 2164.62 (SE)
- (S06) 12" SD (±64 LF) @ 1.0% SLOPE
- (S07) SDCB W/ GRATED LID PER CITY STD DWG SD 802
RIM: FG 2174.18
INV IN: 2165.46 (E)
INV OUT: 2165.36 (W)
- (S08) 12" SD (±90 LF) @ 1.0% SLOPE
- (S09) SDMH W/ SOLID LID PER CITY STD DWG SD 501
RIM: FG 2177.02
INV IN: 2166.46 (E)
INV OUT: 2166.36 (W)
- (S07S) DOUBLE DEPTH DRYWELL PER CITY STD DWG SD 601
RIM: 2163.00 (6" ABOVE SWALE BOTTOM)
- (S011) 10" SD (±46 LF) @ 0.8% SLOPE
- (S013) SDMH W/ SOLID LID PER CITY STD DWG SD 501
RIM: FG 2173.13
INV IN: 2165.10 (N)
INV OUT: 2163.95 (SE)
- (S014) 10" SD (±132 LF) @ 0.5% SLOPE
- (S01A) SDMH W/ SOLID LID PER CITY STD DWG SD 501
RIM: FG 2170.05
INV IN: 2163.29 (NW)
INV OUT: 2163.19 (S)



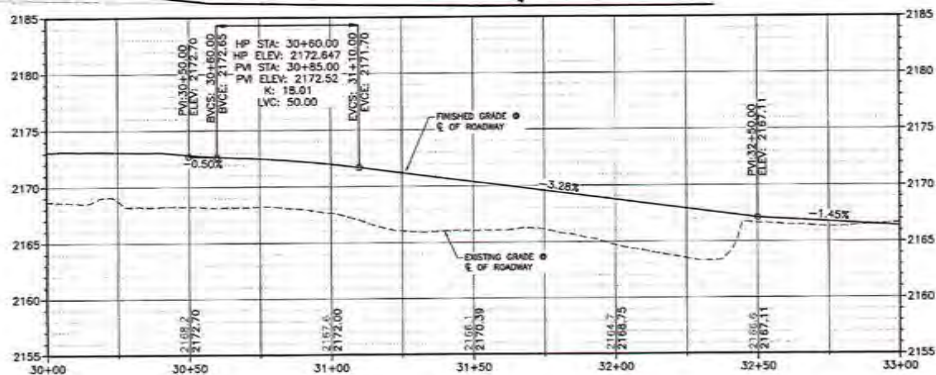
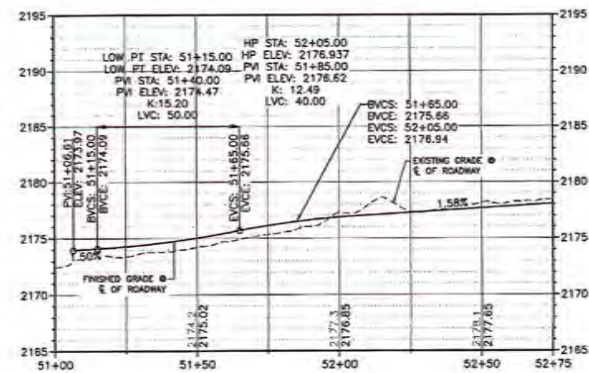
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Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES



Business



STATE OF ALABAMA
I, JOHN FINNEGAN, PE, HOLD THE LICENSE NO. 11227, WHICH IS VALID UNTIL 12/31/2021. I HEREBY CERTIFY THAT I AM THE REGISTERED PROFESSIONAL ENGINEER FOR THE PROJECT DESCRIBED ON THESE PLANS. I AM NOT PROVIDING ENGINEERING SERVICES TO ANY OTHER PROJECTS AT THE SAME TIME AS THIS PROJECT. I AM NOT PROVIDING ENGINEERING SERVICES TO ANY OTHER PROJECTS AT THE SAME TIME AS THIS PROJECT. I AM NOT PROVIDING ENGINEERING SERVICES TO ANY OTHER PROJECTS AT THE SAME TIME AS THIS PROJECT.

PARTIAL GRADING PLAN

MILLWORK PHASE 1
AAA CONSTRUCTION & DEVELOPMENT
POST FALLS, ID

WAG
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100 N. College Street, Suite 17
Spokane, Washington 99201
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www.wagarch.com



JUB ENGINEERS, INC.
7825 Meadowbrook Way
Columbiana, AL 35815
Phone: 205.762.8787
www.jub.com

Project No.: 20-20-000
Date: 6-7-2021
Drawn By: CCH
Checked By: PDI

Sheet No.

CITY OF POST FALLS - APPROVED BY:

[Signature] 11/17/2021
CITY ENGINEER

C1.16

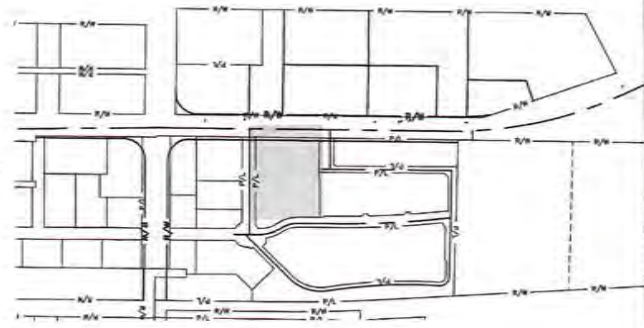
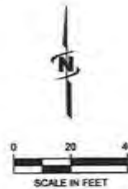
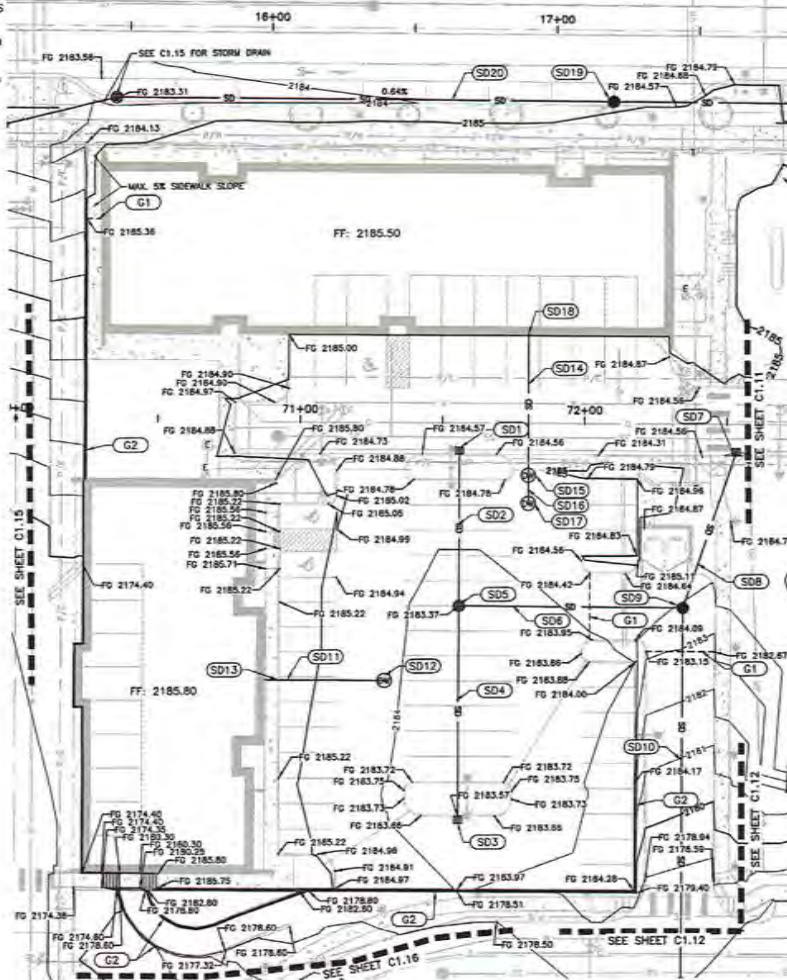


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NOTES:

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KEYED NOTES:

- GRADING**
- G1 GRADE BREAK
 - G2 REFER TO STRUCTURAL PLANS FOR RETAINING WALL DETAILS
- STORM DRAIN**
- SD1 SDCB W/ GRATED LID PER CITY STD DWG SD 602
RIM: 2184.50
INV OUT: 2181.80 (S)
 - SD2 8" SD (±55 LF) @ 2.1% SLOPE
 - SD3 SDCB W/ GRATED LID PER CITY STD DWG SD 602
RIM: 2183.57
INV OUT: 2180.87 (S)
 - SD4 8" SD (±76 LF) @ 0.5% SLOPE
 - SD5 SDCB W/ GRATED LID PER CITY STD DWG SD 602
RIM: 2183.37
INV IN: 2180.65 (N)
INV IN: 2180.49 (S)
INV OUT: 2180.39 (E)
 - SD6 10" SD (±80 LF) @ 0.5% SLOPE
 - SD7 SDCB W/ GRATED LID PER CITY STD DWG SD 602
RIM: 2183.97
INV OUT: 2181.27 (S)
 - SD8 8" SD (±58 LF) @ 1.0% SLOPE
 - SD9 SDMH W/ SOLID LID PER CITY STD DWG SD 501
RIM: 2183.86
INV IN: 2180.69 (N)
INV IN: 2179.99 (W)
INV OUT: 2179.89 (S)
 - SD10 SEE SHEET C-1.12
 - SD11 8" SD (±40 LF) @ 0.5% SLOPE
 - SD12 DOUBLE DEPTH DRYWELL WITH SOLID LID PER CITY STD DWG SD 601.
RIM: 2184.21
INV IN: 2181.50 (W)
 - SD13 BUILDING POINT OF CONNECTION
INV EL: 2181.70 (VERIFY WITH PLUMBING PLANS)
 - SD14 8" SD (±48 LF) @ 0.5% SLOPE
 - SD15 SINGLE DEPTH DRYWELL WITH SOLID LID PER CITY STD DWG SD 601.
RIM: 2184.76
INV IN: 2182.06 (N)
INV OUT: 2182.06 (S)
 - SD16 8" SD (±10 LF) @ 0.5% SLOPE
 - SD17 SINGLE DEPTH DRYWELL WITH SOLID LID PER CITY STD DWG SD 601.
RIM: 2184.73
INV IN: 2182.01 (N)
 - SD18 BUILDING POINT OF CONNECTION
INV EL: 2182.30 (VERIFY WITH PLUMBING PLANS)
 - SD19 SDMH W/ SOLID LID PER CITY STD DWG SD 501
RIM: 2184.47
INV IN: 2179.18 (E)
INV OUT: 2179.08 (W)
 - SD20 8" SD (±174 LF) @ 0.5% SLOPE

CITY OF POST FALLS - APPROVED BY:

Paul Williams 12/17/2021
CITY ENGINEER



STATE OF IDAHO
I-148 SHALL REVIEW ALL CONCRETE, LUMBER, METALS, MECHANICAL AND ELECTRICAL, AND OTHER RESUBMITTALS OF THESE DRAWINGS, AND THE SAME SHALL NOT BE REUSED WITHOUT WRITTEN CONSENT BY I-148 WILL BE AT CLIENT'S SOLE RISK AND WITHOUT LIABILITY TO I-148.

PARTIAL GRADING PLAN

MILLWORK PHASE 1

A&A CONSTRUCTION & DEVELOPMENT

POST FALLS, ID

WAG
Worfe Architectural Group
1000 N. Central Street, Suite 101
Post Falls, Washington 99201
P: 509-465-8889 F: 509-465-3833
www.wagarch.com

JUB
JUB ENGINEERS, INC.
7625 Meadowlark Way
Coeur d'Alene, ID 83815
Phone: 208-762-8787
www.jub.com

Project No.: 20-20-068
Date: 6-3-2021
Drawn By: CCH
Checked By: PFB

Sheet No. **C1.17**

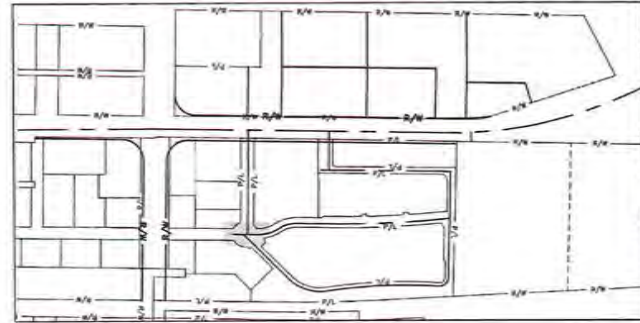
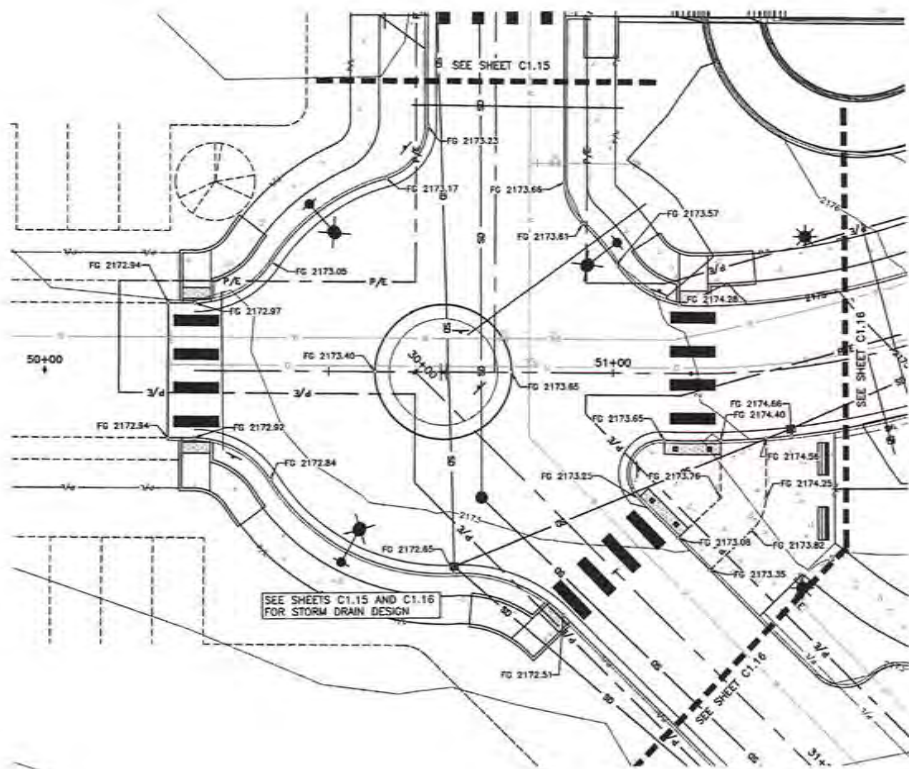
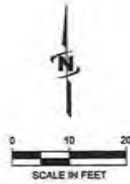


Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

NOTES:

1. FG ELEVATIONS AT CURBS ARE OUTER FLOWLINE OR PAVEMENT ELEVATION AT FACE OF CURB, UNLESS NOTED OTHERWISE.
2. SEE GEOTECHNICAL ENGINEERING REPORTS BY JOHN FINNEGAN, PE OF BUINGER & ASSOCIATES:
 - 2.1. WOODLAND MEADOWS PHASE III DATED AUGUST 5, 2019 (BAI PROJECT NUMBER S19503), AND
 - 2.2. WOODLAND MEADOWS PHASE 4 DATED MAY 14, 2021. (BAI PROJECT NUMBER S21274)



STATE OF MICHIGAN
 JOHN FINNEGAN
 11222
 PE
 12/17/2021

PARTIAL GRADING PLAN

MILLWORY PHASE 1
 A&A CONSTRUCTION & DEVELOPMENT
 POST FALLS, ID

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Prepared By: J-S-096
 Date: 8/1/2021
 Drawn By: CCM
 Checked By: PFR

CITY OF POST FALLS - APPROVED BY:

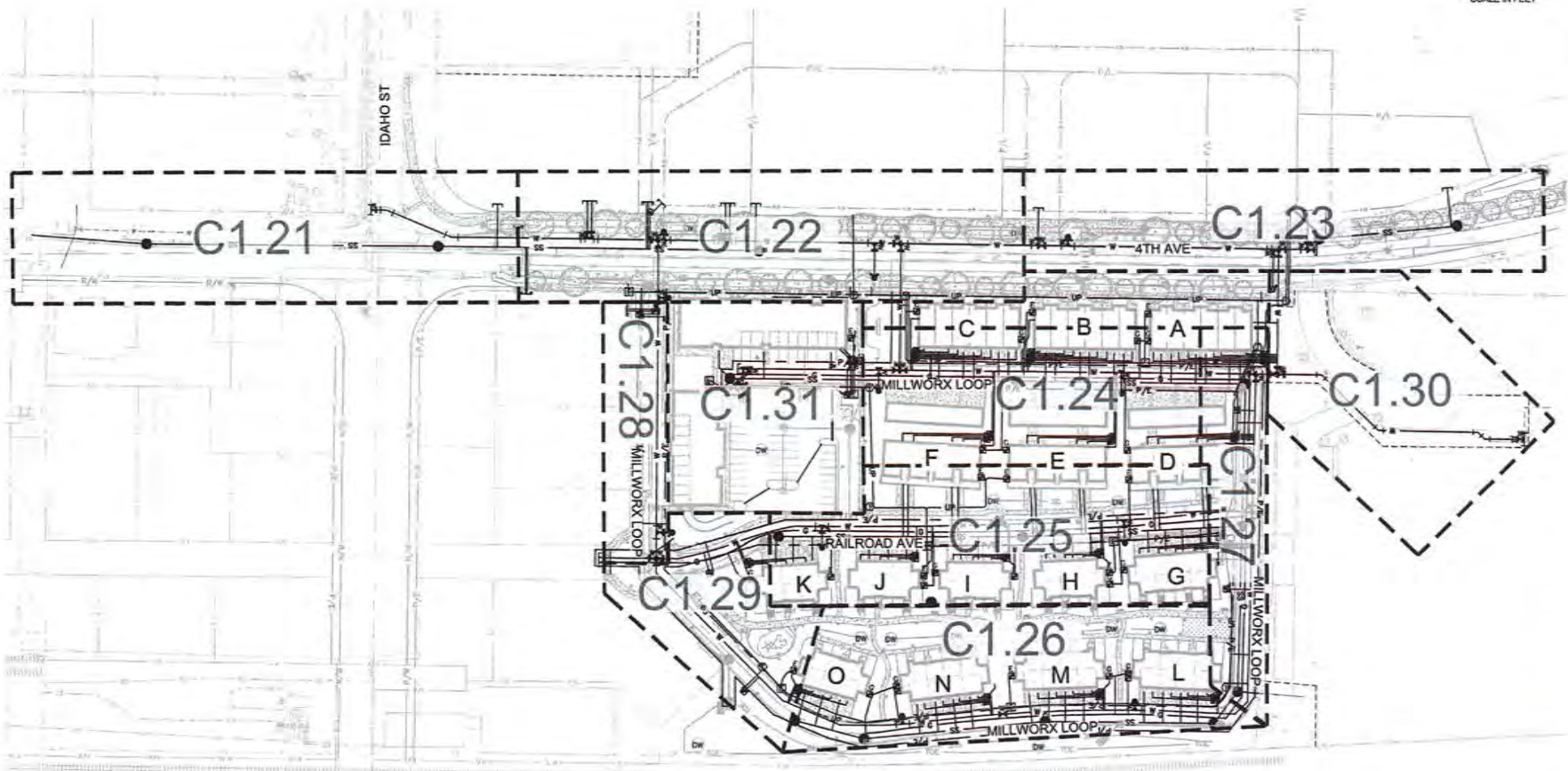
 CITY ENGINEER

C1.18



PROFESSIONAL ENGINEER
 JAMES W. JONES
 11222
 STATE OF IDAHO
 PELE 5490

NOTE: OWNER SHALL RETAIN ALL COMMON LAW, STATUTORY, CONTRACT AND OTHER RESERVED RIGHTS OF THESE DRAWINGS, AND THE SAME SHALL NOT BE REPRODUCED WITHOUT JWB'S PRIOR WRITTEN CONSENT. ANY REPRODUCTION WITHOUT WRITTEN CONSENT BY ANY PARTY, BE IT CLIENTS, SOLE, IN WHOLE AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO JWB.



OVERALL UTILITY PLAN

MILLWORX PHASE 1
 A&A CONSTRUCTION & DEVELOPMENT
 POST FALLS, ID

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 Wolfe Architectural Group
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 P 509.455.8099 F 509.455.2833
 www.wagarch.com

JUB
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 Phone: 208.762.8767
 www.jub.com

Project No.: 20-20-058
 Date: 6-1-2021
 Drawn By: CCH
 Checked By: PSI
 Sheet No:

C1.20



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

CITY OF POST FALLS - APPROVED BY:

 CITY ENGINEER



Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

NOTES: MAINTAIN 18-INCH VERTICAL SEPARATION WITH DOMESTIC WATER MAINS AND SERVICES ABOVE SANITARY SEWER MAINS AND SERVICES AT ALL CROSSINGS.

KEYED NOTES:

WATER

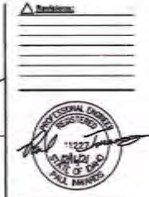
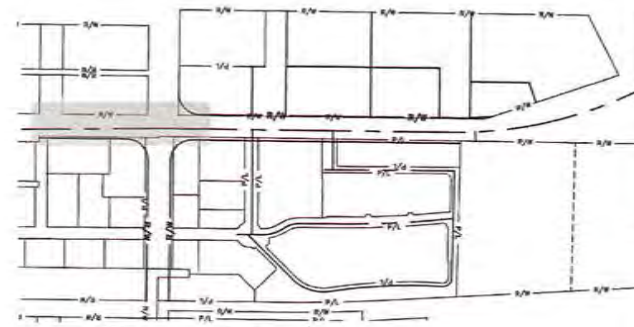
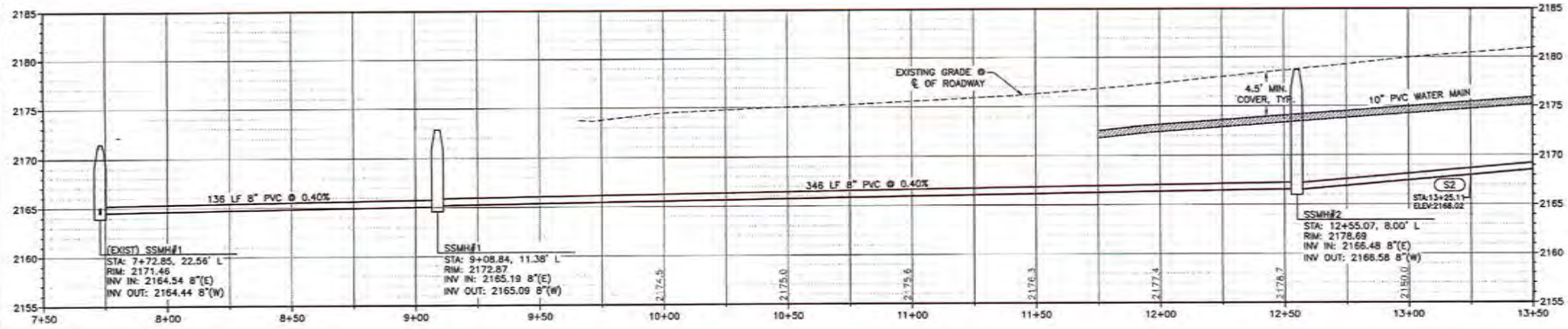
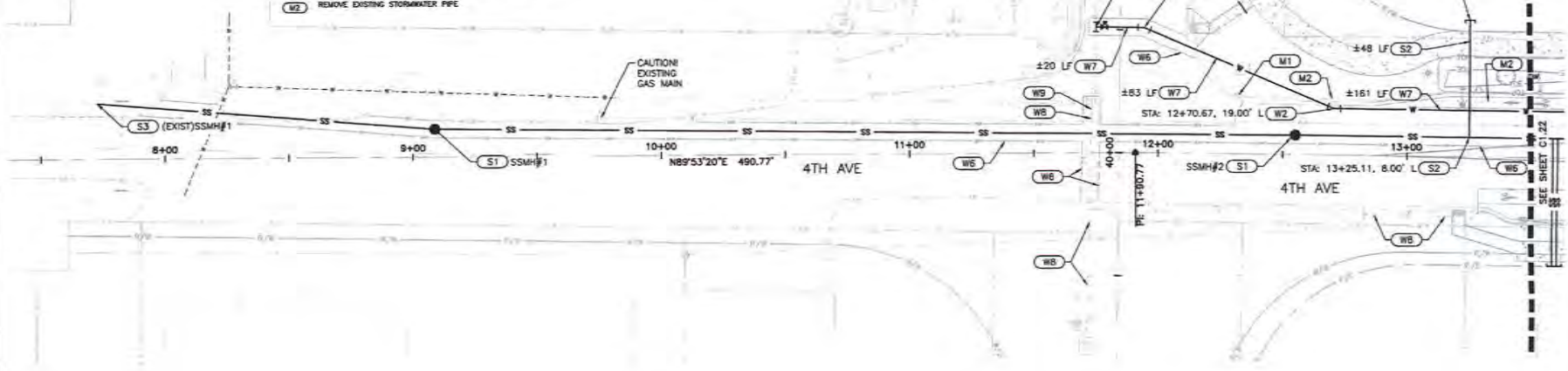
- W1 CONNECT TO 12" STEEL PIPE, 12"x10" HOT TAP WITH 10" GATE VALVE, CITY OF POST FALLS WATER DIVISION STAFF TO CONDUIT TAP, CONDUIT WATER DIVISION 5 DAYS PRIOR TO CONNECTION, VERIFY PIPE SIZE, LOCATION, AND MATERIAL.
- W2 10" 22.5' BEND, THRUST BLOCK, AND LOCATE MARKER BALL. COORDINATE WITH THE CITY OF POST FALLS WATER DIVISION FOR PICK UP AND INSTALLATION OF LOCATE MARKER BALLS.
- W3 10"x4" TEE AND THRUST BLOCK WITH 4" GATE VALVE.
- W4 4" WATER SERVICE, 4.5' MIN COVER
- W5 4" CAP AND MARK
- W6 SAWCUT, TRENCH, AND SURFACE REPAIR PER CITY STD DWG SD 301
- W7 10" WATER MAIN, 4.5' MIN COVER
- W8 REMOVE EXISTING 6" WATER LINE AND EXISTING FIRE HYDRANTS CONNECTED TO 6" WATER LINE.
- W9 4" Ø BLIND FLANGE WITH THRUST BLOCK.

SEWER

- S1 SANITARY SEWER MANHOLE PER CITY STD DWG SD 501
- S2 SEWER SERVICE @ 2.0% SLOPE PER CITY STD DWG 503
- S3 CONNECT TO EXISTING SEWER MANHOLE, CORE DRILL HOLE IN EXISTING SOAK FOR NEW PIPE CONNECTION AND RECHAMFER, BNC.
- S4 6" CAP AND MARK, SEWER SERVICE, INV. EL: 2166.98'

MISCELLANEOUS

- M1 REMOVE EXISTING STORM DRAIN PIPE TO EAST OF EXISTING CATCH BASIN AND GROUT HOLE.
- M2 REMOVE EXISTING STORMWATER PIPE.



NOTE: THE DESIGNER HAS REVIEWED ALL CONSENT LETTERS, PERMITS, COPYRIGHT AND OTHER RELEVANT DOCUMENTS AND THE SAME SHALL NOT BE REVISED WITHOUT THE DESIGNER'S WRITTEN CONSENT. ANY REUSE WITHOUT WRITTEN CONSENT BY USER WILL BE AT USER'S SOLE RISK AND WITHOUT LIABILITY OR LIABILITY EXPOSURE TO USER.

PARTIAL UTILITY PLAN

MILLWORX PHASE 1
A&A CONSTRUCTION & DEVELOPMENT
POST FALLS, ID

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1018 N. College Street Suite 10
Post Falls, Washington 83854
509.435.8890 509.455.3333
www.wagarch.com

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Coeur d'Alene, ID 83815
Phone: 208.762.6797
www.jub.com
Project No.: 20-20-868
Date: 6-7-2021
Drawn By: DCH
Checked By: PDI
Sheet No.:

CITY OF POST FALLS - APPROVED BY:
[Signature]
CITY ENGINEER

C1.21



Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

NOTES: MAINTAIN 18-INCH VERTICAL SEPARATION WITH DOMESTIC WATER MAINS AND SERVICES ABOVE SANITARY SEWER MAINS AND SERVICES AT ALL CROSSINGS.

KEYED NOTES:

WATER

- W1 10"x6" TEE AND THRUST BLOCK WITH (1) 10" GATE VALVE AND (1) 8" GATE VALVE
- W2 10" PVC WATER MAIN, 4.5' MIN COVER
- W3 10"x4" TEE AND THRUST BLOCK WITH 4" GATE VALVE
- W4 4" WATER SERVICE, 4.5' MIN COVER
- W5 4" CAP AND MARK
- W6 SANIT, TRENCH, AND SURFACE REPAIR FOR CITY STD DWG SD 301
- W7 10"x6" TEE AND THRUST BLOCK WITH 8" GATE VALVE
- W8 8" WATER SERVICE, 4.5' MIN COVER
- W9 FIRE HYDRANT ASSEMBLY PER CITY STD DWG SD401
- W10 10"x6" TEE AND THRUST BLOCK WITH 8" GATE VALVE
- W11 8" FIRE LINE, 4.5' MIN COVER
- W12 8" CAP AND MARK
- W13 REMOVE EXISTING 8" WATER LINE AND EXISTING FIRE HYDRANTS CONNECTED TO 8" WATER LINE
- W14 4" IRRIGATION SLEEVE. SEE LANDSCAPE/IRRIGATION PLANS FOR CONTINUATION, VERIFY LOCATION, AND NUMBER OF SLEEVES WITH LANDSCAPE PLANS, TYP.

SEWER

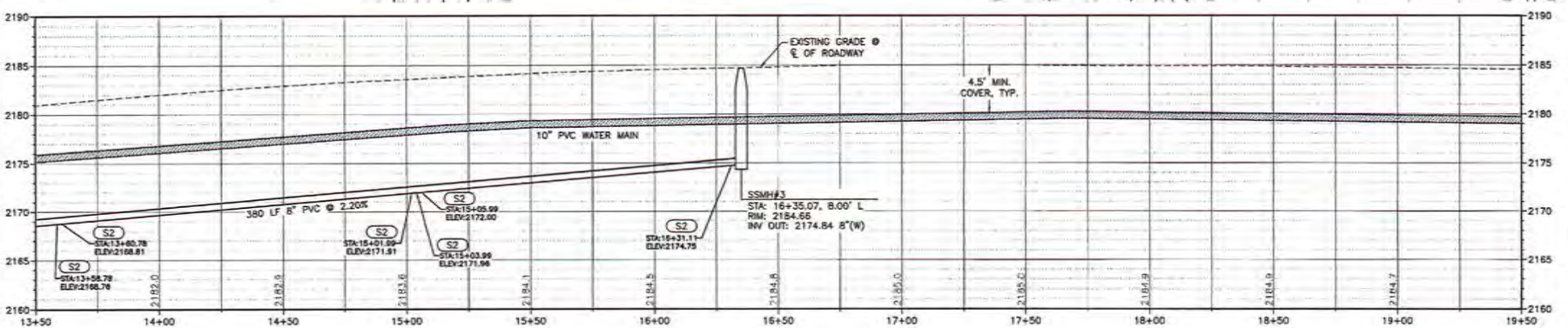
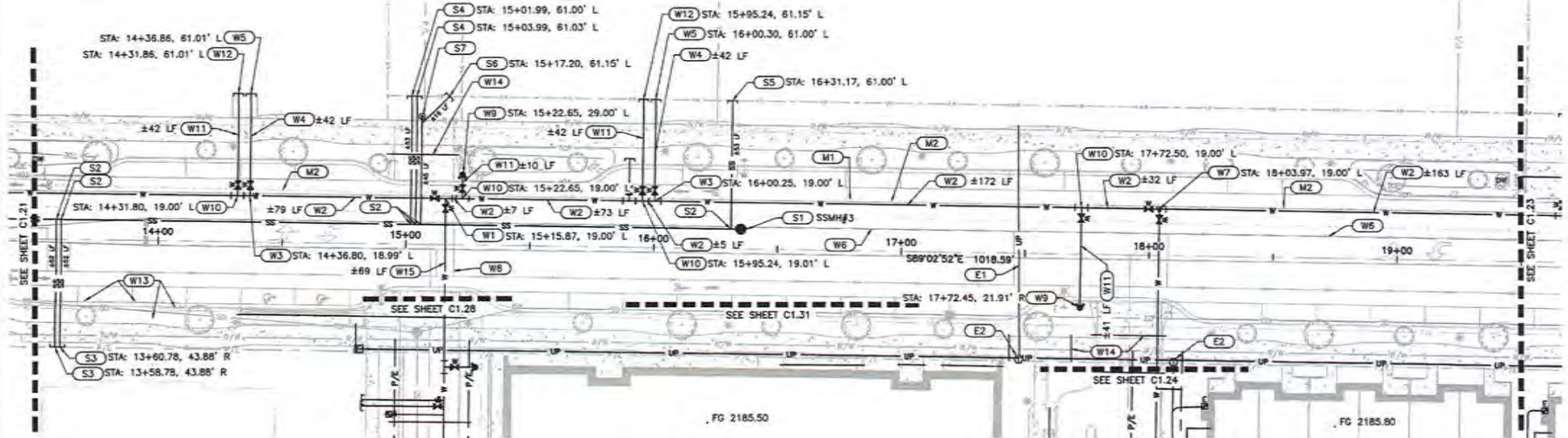
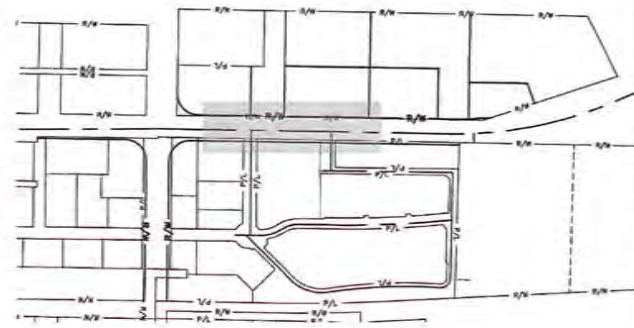
- S1 8" PVC WATER MAIN, 4.5' MIN COVER
- S2 SANITARY SEWER MANHOLE PER CITY STD DWG SD 501
- S3 6" SEWER SERVICE @ 1.0% SLOPE PER CITY STD DWG 503
- S4 8" CAP AND MARK SEWER SERVICE INV. EL: 2169.33
- S5 8" CAP AND MARK SEWER SERVICE INV. EL: 2172.49
- S6 8" CAP AND MARK SEWER SERVICE INV. EL: 2178.28
- S7 8" CAP AND MARK SEWER SERVICE INV. EL: 2172.61
- S8 6"x6" WYE AND 8" SSSO RIM EL: 2184.33 INV. EL: 2172.45

ELECTRICAL

- E1 CONDUIT FOR POWER AND TELECOMMUNICATIONS. SEE ELECTRICAL PLANS FOR QUANTITY AND SIZE OF CONDUIT.
- E2 TELECOMMUNICATIONS FEEDSTALK APPROXIMATE LOCATION, VERIFY LOCATIONS WITH UTILITY COMPANIES.

MISCELLANEOUS

- M1 REMOVE EXISTING STORM STRUCTURE
- M2 REMOVE OR EXISTING STORMWATER PIPE



CITY OF POST FALLS - APPROVED BY:

 CITY ENGINEER



STATE OF IDAHO
 JUB ENGINEERS, INC.
 1122 S. MAIN ST.
 POST FALLS, ID 83854

PARTIAL UTILITY PLAN
 MILLWORX PHASE 1
 A&A CONSTRUCTION & DEVELOPMENT
 POST FALLS, ID

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 Phone: 208.762.8787
 www.jub.com

Project No.: 20-25-008
 Date: 8-7-2021
 Drawn By: CCH
 Checked By: PSH
 Sheet No.: **C1.22**



Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

NOTES: MAINTAIN 18-INCH VERTICAL SEPARATION WITH DOMESTIC WATER MAINS AND SERVICES ABOVE SANITARY SEWER MAINS AND SERVICES AT ALL CROSSINGS.

KEYED NOTES:

WATER

- W1 10"x8" TEE AND THRUST BLOCK WITH 8" GATE VALVE
- W2 10" PVC WATER MAIN, 4.5' MIN COVER
- W3 8" CAP AND MARK
- W4 SHOULDER, TRENCH, AND SURFACE REPAIR PER CITY STD DWG 50 301
- W5 10"x8" TEE AND THRUST BLOCK WITH 8" GATE VALVE
- W6 8" FIRE LINE, 4.5' MIN COVER
- W7 FIRE HYDRANT ASSEMBLY PER CITY STD DWG 50-401
- W8 8" PVC WATER MAIN, 4.5' MIN COVER
- W9 10" PVC CAP
- W10 4" IRRIGATION SLEEVE. SEE LANDSCAPE/IRRIGATION PLANS FOR CONTINUATION. VERIFY LOCATION AND NUMBER OF SLEEVES WITH LANDSCAPE PLANS, TYP.

SEWER

- S1 SANITARY SEWER MANHOLE PER CITY STD DWG 50 501
- S2 8" PVC SEWER MAIN @ 0.4% SLOPE
- S3 6" CAP AND MARK SEWER MAIN INV EL: 2171.51
- S4 DIA AND VERIFY SIZE, LOCATION, DEPTH, AND SLOPE OF EXISTING SEWER STUB. CUT AND REMOVE EXISTING PIPE AS NEEDED. EXTEND TO PROPOSED SSM.
- S5 8" PVC SEWER SERVICE @ 1.0% SLOPE PER CITY STD DWG 50 503
- S6 6" CAP AND MARK SEWER SERVICE INV EL: 2169.85
- S7 6" CAP AND MARK SEWER SERVICE INV EL: 2171.51
- S8 6" CAP AND MARK SEWER SERVICE INV EL: 2170.20

ELECTRICAL

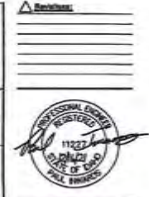
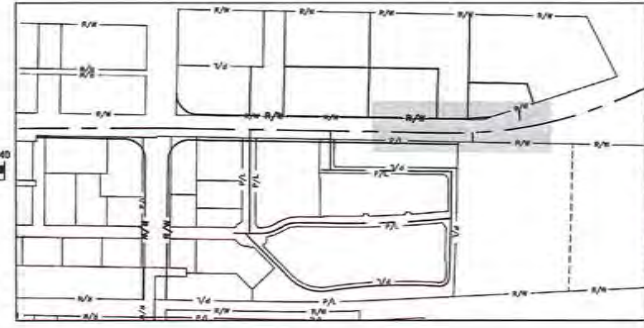
- E1 CONDUIT FOR POWER AND TELECOMMUNICATIONS. SEE ELECTRICAL PLANS FOR QUANTITY AND SIZE OF CONDUIT.

GAS

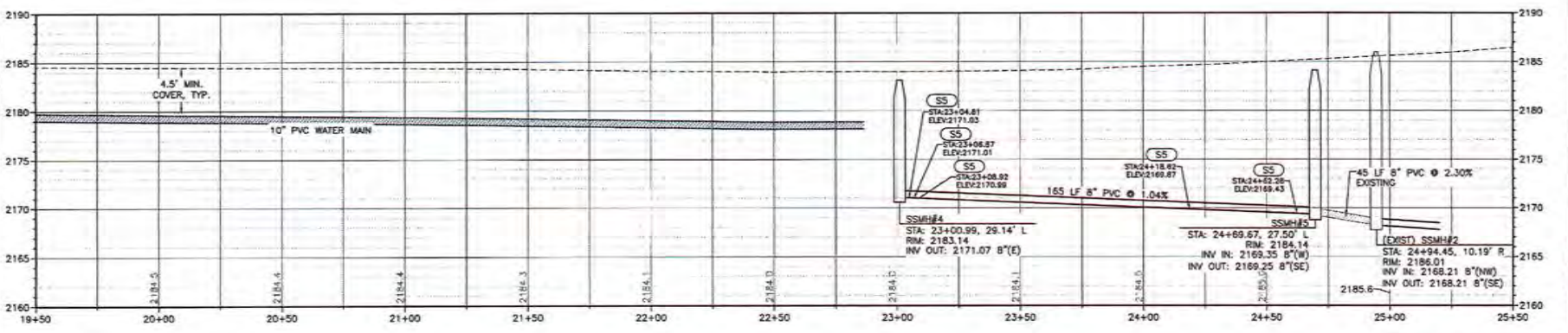
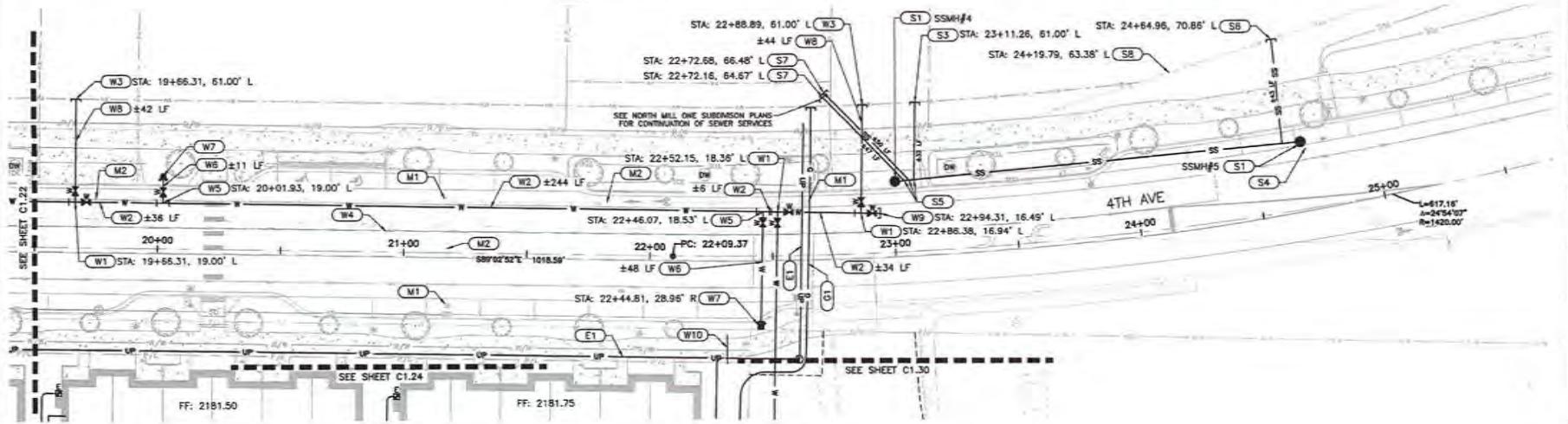
- G1 NATURAL GAS PIPING. COORDINATE WITH AVISTA FOR PIPE SIZE, MATERIAL, AND DEPTH FOR GAS MAINS, SERVICE PIPES, AND CONNECTIONS PRIOR TO INSTALLATION.

MISCELLANEOUS

- M1 REMOVE EXISTING STORM STRUCTURE
- M2 REMOVE EXISTING STORMWATER PIPE



SEWER BY DESIGN: THIS SHALL BE THE DESIGNER'S LIABILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND THE USER SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGE TO UTILITIES WITHOUT JUB'S PRIOR WRITTEN CONSENT. ANY DAMAGE WITHOUT WRITTEN CONSENT BY JUB WILL BE AT USER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO JUB.



CITY OF POST FALLS - APPROVED BY:

 CITY ENGINEER

PARTIAL UTILITY PLAN

MILLWORX PHASE 1
 A&A CONSTRUCTION & DEVELOPMENT
 POST FALLS, ID

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 www.jub.com

Project No.: 20-26-046
 Date: 8-7-2011
 Drawn By: COH
 Checked By: PJI
 Sheet No.: **C1.23**



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Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

NOTES: MAINTAIN 18-INCH VERTICAL SEPARATION WITH DOMESTIC WATER MAINS AND SERVICES ABOVE SANITARY SEWER MAINS AND SERVICES AT ALL CROSSINGS.

KEYED NOTES:

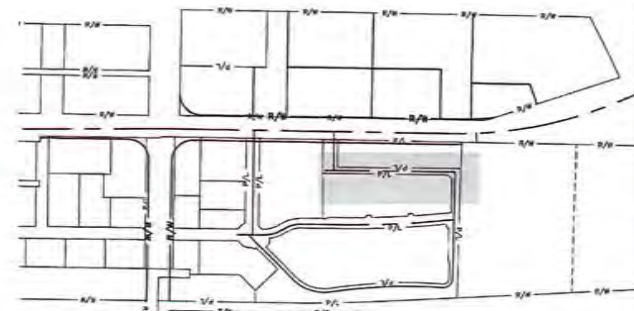
WATER

- W1 FIRE HYDRANT ASSEMBLY PER COPF STD. DWG SD 401
- W2 8" PVC WATER MAIN, 4.5 MIN. COVER
- W3 8"x8" TEE AND THRUST BLOCK WITH (2) 8" GATE VALVES
- W4 8"x2" TAPPING SADDLE AND 2" WATER LINE WITH FITTINGS AS REQUIRED.
- W5 (S) 1" WATER METERS AND WATER SERVICE LINES PER CITY STD DWG SD 402
- W6 WATER SERVICE POINT OF CONNECTION TO BUILDING. TYP. SEE PLUMBING PLANS FOR CONTINUATION.
- W7 8"x8" TEE AND THRUST BLOCK WITH (2) 8" GATE VALVES
- W8 8"x4" TEE AND THRUST BLOCK WITH 8" GATE VALVE
- W9 (4) 1.25" WATER METERS AND WATER SERVICE LINES PER CITY STD DWG SD 402
- W10 0.5" LANDSCAPE SERVICE STUBBED OFF OF 1.25" SERVICE PRIOR TO BUILDING POINT OF CONNECTION. SEE LANDSCAPE PLANS FOR CONTINUATION, LOCATION, AND BACKFLOW PREVENTION DETAILS.
- W11 8"x2" TAPPING SADDLE, 2" WATER METER AND VALVE PER CITY STD DWG SD 402 FOR IRRIGATION USE. SEE LANDSCAPE/IRRIGATION PLANS FOR CONTINUATION.
- W12 8" FIRE LINE, 4.5" MIN. COVER
- W13 2" WATER LINE AS FIRE LINE WITH FITTINGS AS REQUIRED. COORDINATE FIRE RISER ROOM ON ARCHITECTURAL PLANS AND SEE FIRE PROTECTION PLANS FOR CONTINUATION AND BACKFLOW PREVENTION.

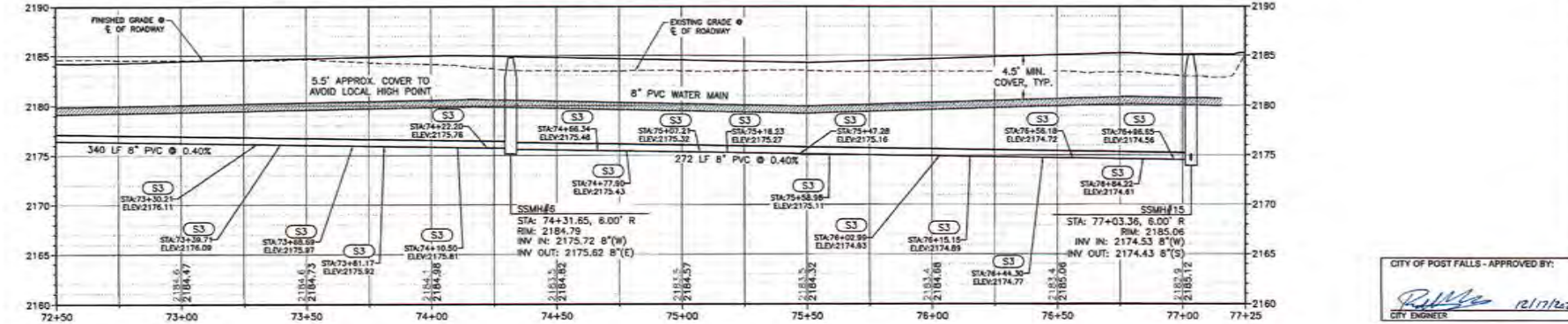
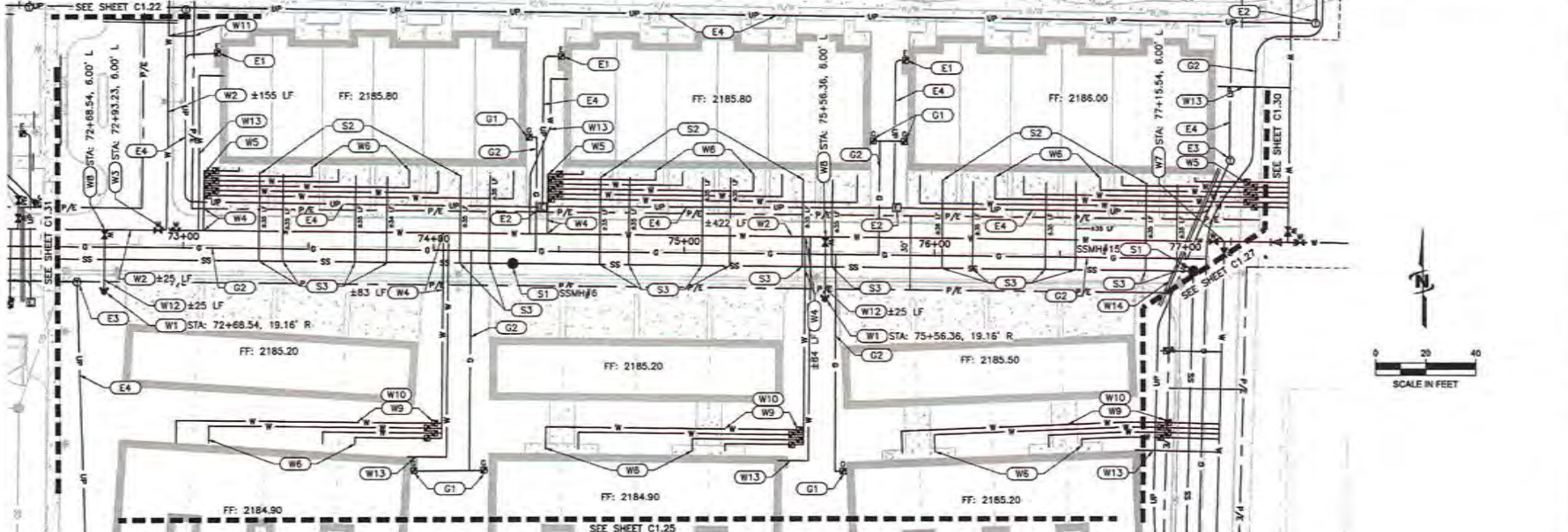
SEWER

- S1 SANITARY SEWER MANHOLE PER CITY STD DWG SD 501
 - S2 4" PVC BUILDING POINT OF CONNECTION, TYP. REFER TO PLUMBING PLANS FOR CONTINUATION.
 - S3 4" PVC SEWER SERVICE @ 2.0% MIN. SLOPE PER CITY STD DWG SD 503, TYP.
- ELECTRICAL
- E1 ELECTRICAL METER POINT OF CONNECTION TO BUILDING. SEE ELECTRICAL PLANS FOR CONTINUATION.
 - E2 PAD MOUNTED ELECTRICAL TRANSFORMER. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION. COORDINATE WITH AVISTA PRIOR TO INSTALLATION. TELECOMMUNICATIONS FEEDBACK APPROPRIATE LOCATION. VERIFY LOCATIONS WITH UTILITY COMPANIES.
 - E3 CONDUIT FOR POWER AND TELECOMMUNICATIONS. SEE ELECTRICAL PLANS FOR QUANTITY AND SIZE OF CONDUIT.
- GAS
- G1 GAS METER POINT OF CONNECTION TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION. COORDINATE WITH AVISTA PRIOR TO INSTALLATION.
 - G2 NATURAL GAS PIPING, COORDINATE WITH AVISTA FOR PIPE SIZE, MATERIAL, AND DEPTH FOR GAS MAINS, SERVICE PIPES, AND CONNECTIONS PRIOR TO INSTALLATION.

W13 4" IRRIGATION SLEEVE. SEE LANDSCAPE/IRRIGATION PLANS FOR CONTINUATION. VERIFY LOCATION, AND NUMBER OF SLEEVES WITH LANDSCAPE PLANS, TYP.



NOTES: AVISTA SHALL RETAIN ALL COMPLICATED LINES, STRUCTURES, CONDUITS AND OTHER RESOURCES ROUTE OF THESE DRAWINGS, AND THE SAME SHALL NOT BE REPRODUCED OUTSIDE JOB'S PROJECT WITHOUT CONSENT. JUB ENGINEERS, INC. ACCEPTS NO LIABILITY OR LEGAL EXPOSURE TO JUB.



PARTIAL UTILITY PLAN

MILLWORX PHASE 1
A&A CONSTRUCTION & DEVELOPMENT
POST FALLS, ID

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7825 Meadowlark Way
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Phone: 208.762.8787
www.jub.com
Project No.: 20-25-088
Date: 6-7-2021
Drawn By: OCH
Checked By: PJD

CITY OF POST FALLS - APPROVED BY:
[Signature] 12/17/2021
CITY ENGINEER

C1.24



Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

NOTES: MAINTAIN 15-INCH VERTICAL SEPARATION WITH DOMESTIC WATER MAINS AND SERVICES ABOVE SANITARY SEWER MAINS AND SERVICES AT ALL CROSSINGS.

KEYED NOTES:

SEWER

- (S1) SANITARY SEWER MANHOLE PER CITY STD DWG SD 501
- (S2) 4" PVC BUILDING POINT OF CONNECTION, TYP. REFER TO PLUMBING PLANS FOR CONTINUATION
- (S3) 4" PVC SEWER SERVICE @ 2.0% MIN. SLOPE PER CITY STD DWG SD 503, TYP.

WATER

- (W1) 8" WATER MAIN, 4.5" MIN COVER
- (W2) 8"x8" TEE AND THRUST BLOCK WITH 6" GATE VALVE
- (W3) 8" 11.25" BEND, THRUST BLOCK, AND LOCATE MARKER BALL. COORDINATE WITH THE CITY OF POST FALLS WATER DIVISION FOR PICK UP AND INSTALLATION OF LOCATE MARKER BALLS.
- (W4) FIRE HYDRANT ASSEMBLY PER CDPF STD. DWG SD 401
- (W5) (4) 1" WATER METERS AND WATER SERVICE LINES PER CITY STD DWG SD 402
- (W6) WATER SERVICE POINT OF CONNECTION TO BUILDING, TYP. SEE PLUMBING PLANS FOR CONTINUATION.
- (W7) (3) 1" WATER METERS AND WATER SERVICE LINES PER CITY STD DWG SD 402
- (W8) 8"x12" TAPPING SADDLE AND 2" WATER LINE WITH FITTINGS AS REQUIRED.

WB

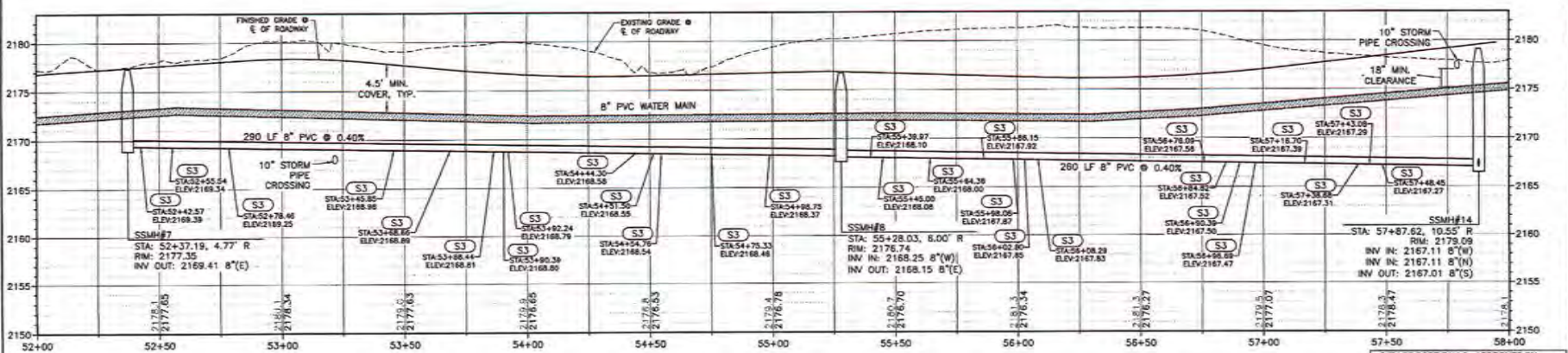
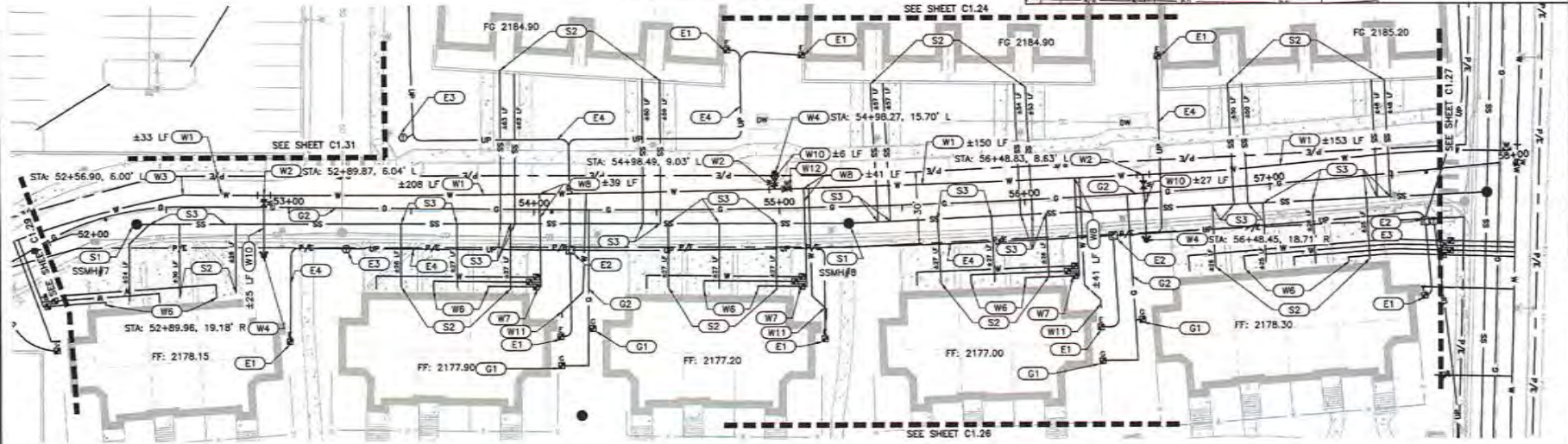
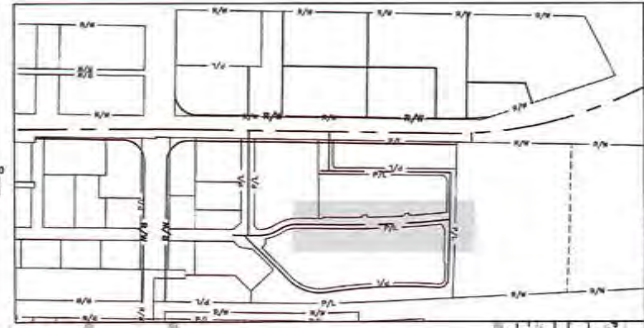
- REMOVE EXISTING PUMP HOUSE, INSTALL MANHOLE OVER WELLHEAD ON PRECAST RING FOUNDATION (BY MANUFACTURER). SET RIM 6" ABOVE FINISHED GRADE.
- (W10) 6" FIRE LINE, 4.5" MIN. COVER
- (W11) 8"x12" TAPPING SADDLE AND 2" FIRE WATER LINE WITH FITTINGS AS REQUIRED. CONFIRM FIRE RISER ROOM ON ARCHITECTURAL PLANS AND SEE FIRE PROTECTION PLANS FOR CONTINUATION AND BACKFLOW PREVENTION.
- (W12) 6" GATE VALVE.

ELECTRICAL

- (E1) ELECTRICAL METER POINT OF CONNECTION TO BUILDING. SEE ELECTRICAL PLANS FOR CONTINUATION.
- (E2) PAD MOUNTED ELECTRICAL TRANSFORMER. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION. COORDINATE WITH AVISTA PRIOR TO INSTALLATION.
- (E3) TELECOMMUNICATIONS PEDESTAL APPROXIMATE LOCATION. VERIFY LOCATIONS WITH UTILITY COMPANIES.
- (E4) CONDUIT FOR POWER AND TELECOMMUNICATIONS. SEE ELECTRICAL PLANS FOR QUANTITY AND SIZE OF CONDUIT.

GAS

- (G1) GAS METER POINT OF CONNECTION TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION. COORDINATE WITH AVISTA PRIOR TO INSTALLATION.
- (G2) NATURAL GAS PIPING. COORDINATE WITH AVISTA FOR PIPE SIZE, MATERIAL, AND DEPTH FOR GAS MAINS, SERVICE PIPES, AND CONNECTIONS PRIOR TO INSTALLATION.



CITY OF POST FALLS - APPROVED BY: [Signature] 12/17/2021



STATE OF IDAHO
I have reviewed this plan and certify that the engineer named herein is duly licensed and is the author of the design shown hereon, or under his direct supervision and he is a duly licensed professional engineer in the State of Idaho.

PARTIAL UTILITY PLAN
MILLWORX PHASE 1
ASA CONSTRUCTION & DEVELOPMENT
POST FALLS, ID

WAG
Wells Architectural Group
1019 N. College Street Suite 10
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www.wagid.com

JUB
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7825 Meadowlark Way
Couer d'Alene, ID 83815
Phone: 208.762.8787
www.jub.com

Project No.: 20-20-098
Date: 6-7-2021
Drawn By: CCM
Checked By: PPS
Sheet No.: 12 of 12
C1.25



Know what's below.
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CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

NOTES: MAINTAIN 18-INCH VERTICAL SEPARATION WITH DOMESTIC WATER MAINS AND SERVICES ABOVE SANITARY SEWER MAINS AND SERVICES AT ALL CROSSINGS.

KEYED NOTES:

SEWER

- (S1) SANITARY SEWER MANHOLE PER CITY STD DWG SD 501
- (S2) 4" PVC BUILDING POINT OF CONNECTION, TYP. REFER TO PLUMBING PLANS FOR CONTINUATION
- (S3) 4" PVC SERVICE @ 2.0% MIN. SLOPE PER CITY STD DWG SD 503, TYP.

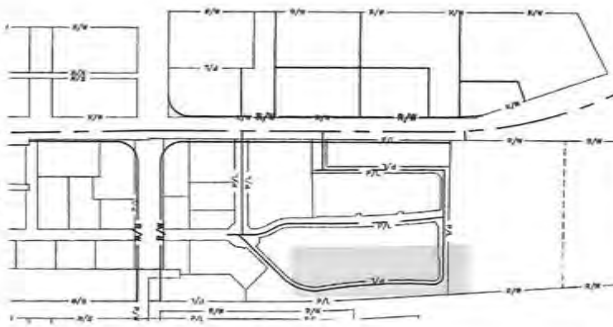
WATER

- (W1) FIRE HYDRANT ASSEMBLY PER COFFD STD. DWG SD 401
- (W2) 8" PVC WATER MAIN, 4.5 MIN. COVER
- (W3) 8"x8" TEE AND THRUST BLOCK WITH (2) 8" GATE VALVES
- (W4) 8"x2" TAPPING SADDLE AND 2" WATER LINE WITH FITTINGS AS REQUIRED
- (W5) (4) 1" WATER METERS AND WATER SERVICE LINES PER CITY STD DWG SD 402
- (W6) WATER SERVICE POINT OF CONNECTION TO BUILDING, TYP. SEE PLUMBING PLANS FOR CONTINUATION
- (W7) 8"x8" TEE AND THRUST BLOCK WITH (3) 8" GATE VALVES
- (W8) 8"x8" TEE AND THRUST BLOCK WITH (2) 8" GATE VALVES
- (W9) 8"x8" TEE AND THRUST BLOCK WITH (3) 8" GATE VALVES
- (W10) 8"x2" TAPPING SADDLE, 2" WATER METER AND VALVE PER CITY STD DWG SD 402 FOR IRRIGATION USE. SEE LANDSCAPE/IRRIGATION PLANS FOR CONTINUATION.

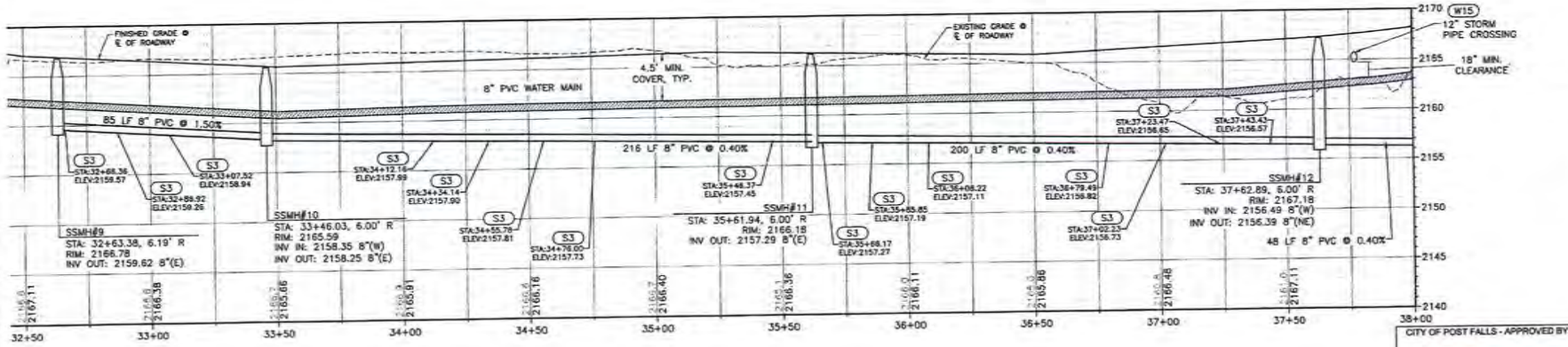
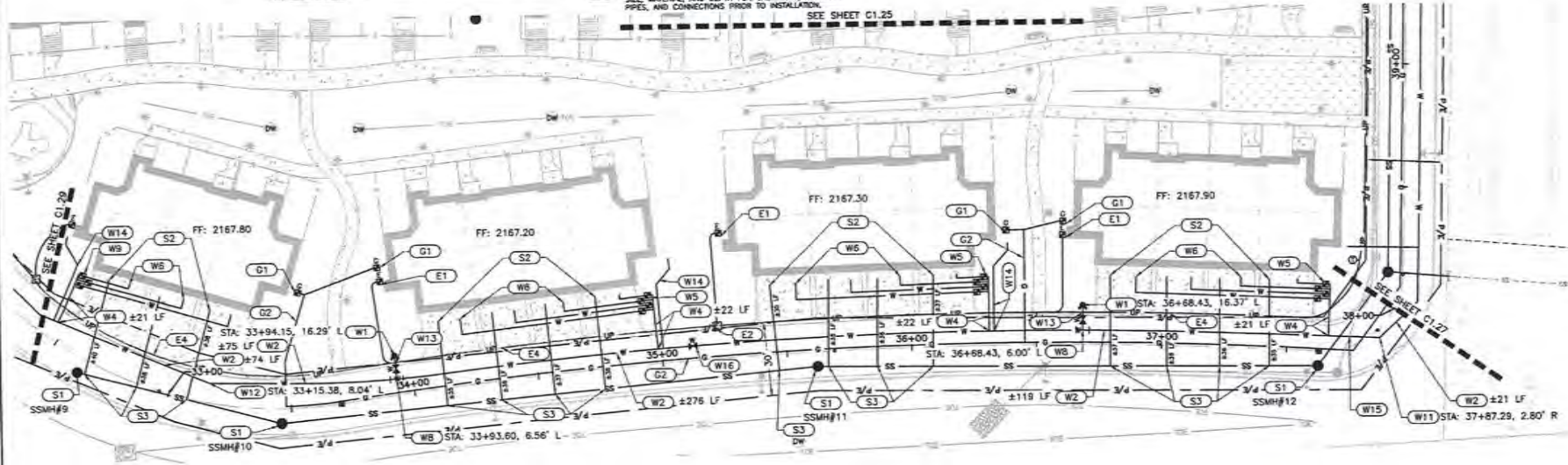
- (W11) 8" 45° BEND, THRUST BLOCK, AND LOCATE MARKER BALL. COORDINATE WITH THE CITY OF POST FALLS WATER DIVISION FOR PICK UP AND INSTALLATION OF LOCATE MARKER BALLS.
- (W12) 8" 22.5° BEND, THRUST BLOCK, AND LOCATE MARKER BALL. COORDINATE WITH THE CITY OF POST FALLS WATER DIVISION FOR PICK UP AND INSTALLATION OF LOCATE MARKER BALLS.
- (W13) 6" FIRE LINE, 10 LF, 4.5" MIN. COVER.
- (W14) 8"x2" TAPPING SADDLE AND 2" FIRE WATER LINE WITH FITTINGS AS REQUIRED. COORDINATE WITH ARCHITECTURAL PLANS AND SEE FIRE PROTECTION PLANS FOR CONTINUATION AND BACKFLOW PREVENTION.
- (W15) STORM PIPE CROSSING ABOVE WATER MAIN
- (W16) 8" GATE VALVE

ELECTRICAL

- (E1) ELECTRICAL METER POINT OF CONNECTION TO BUILDING. SEE ELECTRICAL PLANS FOR CONTINUATION.
- (E2) PAD MOUNTED ELECTRICAL TRANSFORMER. COORDINATE WITH ARCHITECTURAL PLANS AND SEE ELECTRICAL PLANS FOR CONTINUATION.
- (E3) TELECOMMUNICATIONS PEDESTAL APPROXIMATE LOCATION. VERIFY LOCATIONS WITH UTILITY COMPANIES.
- (E4) CONDUIT FOR POWER AND TELECOMMUNICATIONS. SEE ELECTRICAL PLANS FOR QUANTITY AND SIZE OF CONDUIT.
- (G1) GAS METER POINT OF CONNECTION TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION. COORDINATE WITH ARCHITECTURAL PLANS FOR INSTALLATION.
- (G2) NATURAL GAS PIPING. COORDINATE WITH ARCHITECTURAL PLANS FOR PIPE SIZE, MATERIAL, AND DEPTH FOR GAS MAINS, SERVICE PIPES, AND CONNECTIONS PRIOR TO INSTALLATION.



REVIEW OF PROVIDED AS-BUILT SHALL RETURN ALL COMMON LINE, ERECTION, CONSTRUCTION AND OTHER ASSOCIATED RIGHTS OF THESE DRAWINGS, AND THE SAME SHALL NOT BE REUSED WITHOUT JUB'S PRIOR WRITTEN CONSENT. ANY REUSE WITHOUT WRITTEN CONSENT FROM JUB WILL BE AT CLIENT'S SOLE RISK AND WITHOUT LIABILITY TO JUB, EXPOSURE TO JUB'S



PARTIAL UTILITY PLAN
MILLWORK PHASE 1
AAA CONSTRUCTION & DEVELOPMENT
POST FALLS, ID

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Project No.: 20-20-206
Date: 6-7-2021
Drawn By: CDR
Checked By: JSA
Sheet No.:

CITY OF POST FALLS - APPROVED BY:
[Signature] 10/17/2021
CITY ENGINEER

C1.26



Know what's below.
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CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

NOTES: MAINTAIN 18-INCH VERTICAL SEPARATION WITH DOMESTIC WATER MAINS AND SERVICES ABOVE SANITARY SEWER MAINS AND SERVICES AT ALL CROSSINGS.

KEYED NOTES:

SEWER

- (S1) SANITARY SEWER MANHOLE PER CITY STD DWG SD 501
- (S2) 8" PVC SS MANH. (6.24 LF) @ 0.4% SLOPE
- (S3) CONNECT TO EXISTING SEWER SUBS. DG. AND VERIFY LOCATION, DEPTH, SIZE AND SLOPE - NOTIFY ENGINEER OF ANY DISCREPANCIES. EXTEND AT SAME LINE AND GRADE AS EXISTING.
- (S4) EXISTING SANITARY SEWER MANHOLE
RIM: 2173.28
INV IN: 2149.44 (W)
SANITARY SEWER DROP MANHOLE PER CITY STD DWG SD 502

WATER

- (W1) 8" PVC WATER MAIN, 4.5 MIN. COVER
- (W2) 8"x8" TEE AND THRUST BLOCK WITH (2) 8" GATE VALVES
- (W3) 8"x2" TAPPING SADDLE, 2" WATER METER AND VALVE PER CITY STD DWG SD 402 FOR IRRIGATION USE. SEE LANDSCAPE/IRRIGATION PLANS FOR CONTINUATION.
- (W4) (4) 1.25" WATER METERS AND WATER SERVICE LINES PER CITY STD DWG SD 402

W5

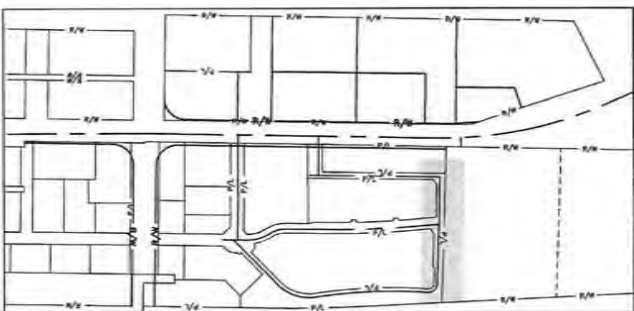
- (W5) (4) 1" WATER METERS AND WATER SERVICE LINES PER CITY STD DWG SD 402
- (W6) 8" 45° BEND, THRUST BLOCK, AND LOCATE MARKER BALL. COORDINATE WITH THE CITY OF POST FALLS WATER DIVISION FOR PICK UP AND INSTALLATION OF LOCATE MARKER BALLS.
- (W7) 8"x2" TAPPING SADDLE AND 2" FIRE WATER LINE WITH FITTINGS AS REQUIRED. CONFIRM FIRE RISER ROOM ON ARCHITECTURAL PLANS AND SEE FIRE PROTECTION PLANS FOR CONTINUATION AND BACKFLOW PREVENTION.
- (W8) 2" IRRIGATION WATER SERVICE, WATER METER AND VALVE PER CITY STD DWG SD 402. SEE LANDSCAPE/IRRIGATION PLANS FOR CONTINUATION.
- (W9) 4" IRRIGATION SLUICE. SEE LANDSCAPE/IRRIGATION PLANS FOR CONTINUATION, VERIFY LOCATION, AND NUMBER OF SLEEVES WITH LANDSCAPE PLANS, TYP.

ELECTRICAL

- (E1) TELECOMMUNICATIONS PEDESTAL. APPROXIMATE LOCATION. VERIFY LOCATIONS WITH UTILITY COMPANIES.
- (E2) CONDUIT FOR POWER AND TELECOMMUNICATIONS. SEE ELECTRICAL PLANS FOR QUANTITY AND SIZE OF CONDUIT.

GAS

- (G1) NATURAL GAS PIPING. COORDINATE WITH AVISTA FOR PIPE SIZE, MATERIAL, AND DEPTH FOR GAS MAINS, SERVICE PIPES, AND CONNECTIONS PRIOR TO INSTALLATION.



BEFORE OF GRADERS JUB ENGINEERS, INC. SHALL RETAIN ALL COMMON LAW RIGHTS, CONTRACT AND OTHER ASSIGNED RIGHTS OF THEIR ENGINEERS AND THE SAME SHALL NOT BE RELEASED WITHOUT JUB'S WRITTEN CONSENT. ANY RELEASE HEREOF IS LIMITED TO THE PROJECT AND DOES NOT CONSTITUTE A RELEASE OF LIABILITY OR LEGAL EXPOSURE TO JUB.

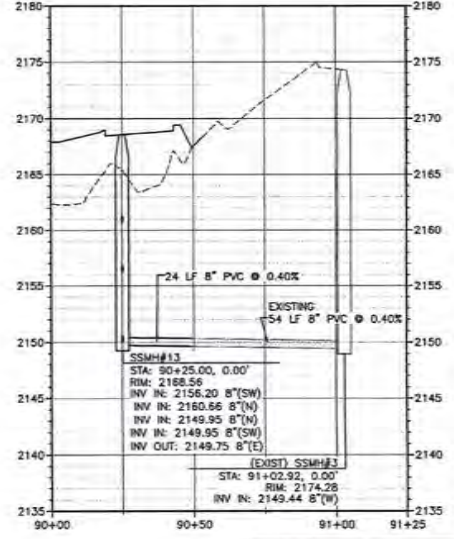
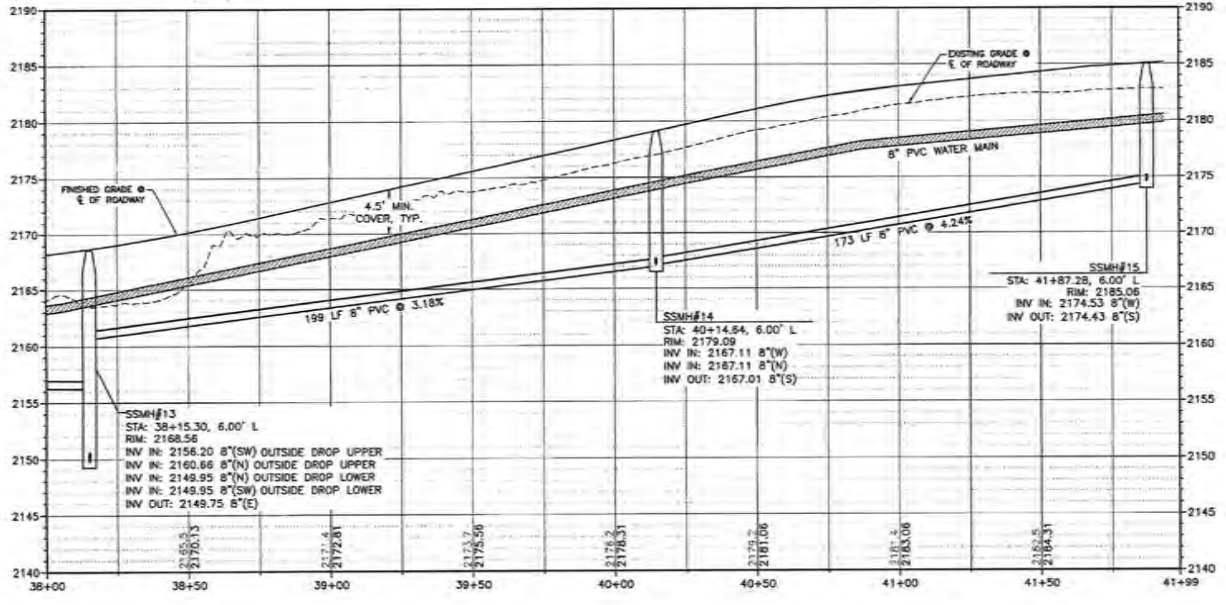
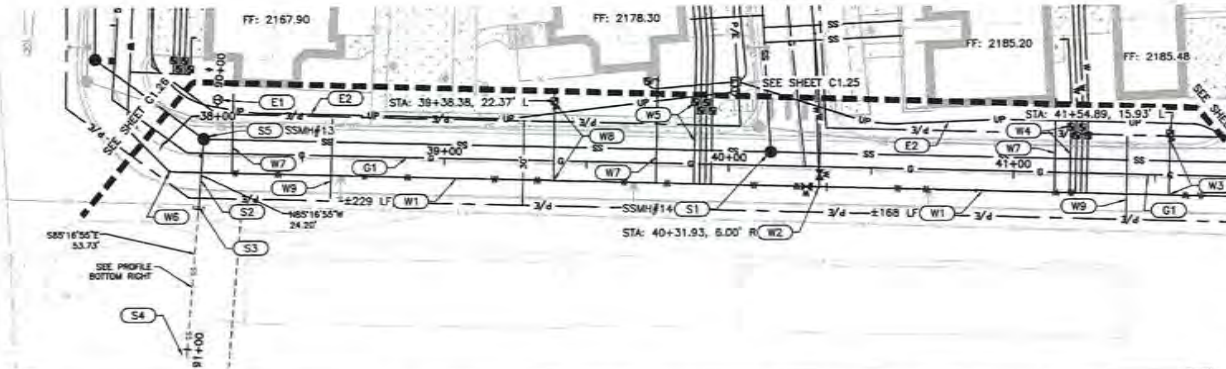
PARTIAL UTILITY PLAN

MILLWORK PHASE 1
ASA CONSTRUCTION & DEVELOPMENT
POST FALLS, ID

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Project No.: 35-25-058
Date: 6-2-2021
Drawn by: CCH
Checked by: PFI
Sheet No.:



CITY OF POST FALLS - APPROVED BY:

CITY ENGINEER

C1.27



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NOTES: MAINTAIN 18-INCH VERTICAL SEPARATION WITH DOMESTIC WATER MAINS AND SERVICES ABOVE SANITARY SEWER MAINS AND SERVICES AT ALL CROSSINGS.

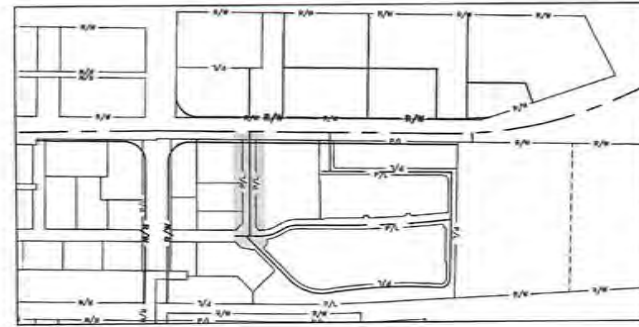
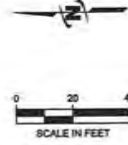
KEYED NOTES:

WATER

- (W1) 8" PVC WATER MAIN, 4.5' MIN COVER
- (W2) 8"x3" TEE, THRUST BLOCK, AND 3" WATER SERVICE, 4.5' MIN COVER
- (W3) 3" CAP AND MARK
- (W4) 8" CAP AND MARK
- (W5) 8"x8" CROSS WITH (3) GATE VALVES
- (W6) 8"x4" TEE AND THRUST BLOCK WITH 8" GATE VALVE
- (W7) FIRE HYDRANT ASSEMBLY PER CITY STD DWG 50401
- (W8) 2" IRRIGATION WATER SERVICE, WATER METER AND VALVE PER CITY STD DWG 50 ADD. SEE LANDSCAPE/IRRIGATION PLANS FOR CONTINUATION.
- (W9) 8" CAP AND MARK
- (W10) 4" IRRIGATION SLEEVE. SEE LANDSCAPE/IRRIGATION PLANS FOR CONTINUATION. VERIFY LOCATION, AND NUMBER OF SLEEVES WITH LANDSCAPE PLANS, TYP.

ELECTRICAL

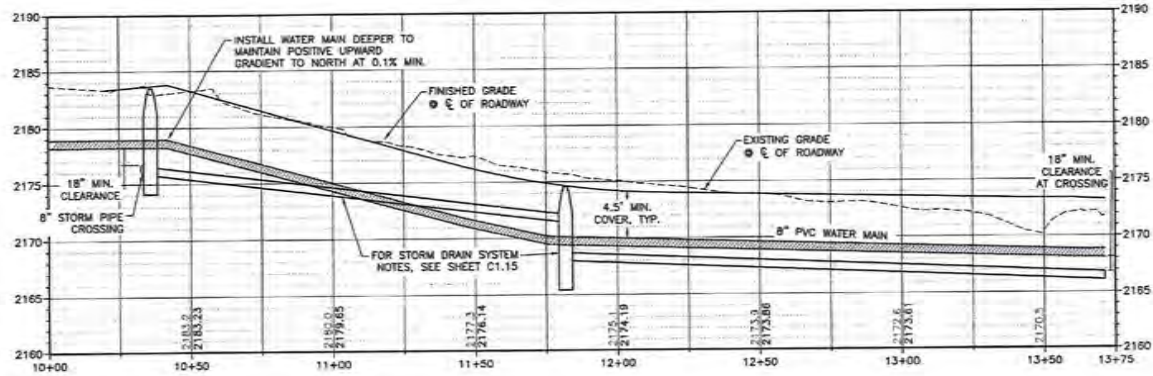
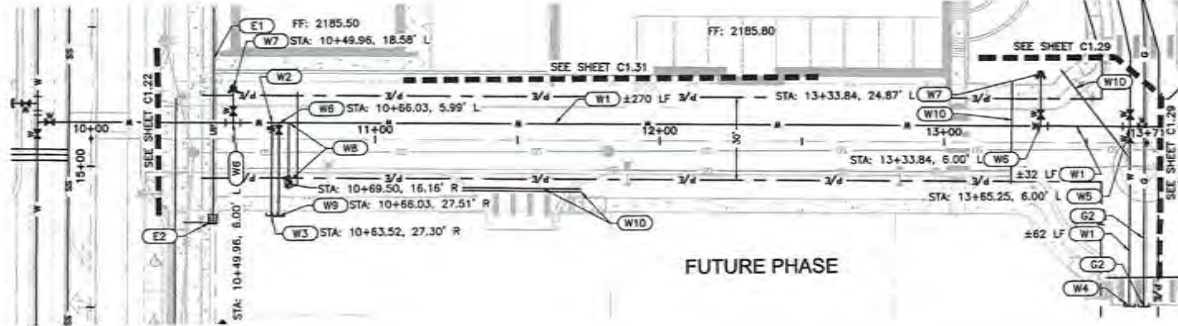
- (E1) CONDUIT FOR POWER AND TELECOMMUNICATIONS. SEE ELECTRICAL PLANS FOR QUANTITY AND SIZE OF CONDUIT.
 - (E2) PAD MOUNTED ELECTRICAL TRANSFORMER. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION. COORDINATE WITH AVISTA PRIOR TO INSTALLATION.
- GAS
- (G1) NATURAL GAS PIPING. COORDINATE WITH AVISTA FOR PIPE SIZE, MATERIAL, AND DEPTH FOR GAS MAINS, SERVICE PIPES AND CONNECTIONS PRIOR TO INSTALLATION.
 - (G2) CAP AND MARK GAS MAIN. COORDINATE WITH AVISTA PRIOR TO INSTALLATION.



STATE OF IOWA
JUB ENGINEERS, INC.
11222 13th Ave S.E.
Des Moines, IA 50319
P.L. 00000000

PARTIAL UTILITY PLAN

MILLWORKY PHASE 1
A&A CONSTRUCTION & DEVELOPMENT
POST FALLS, ID



CITY OF POST FALLS - APPROVED BY:
[Signature] 12/17/2021
CITY ENGINEER

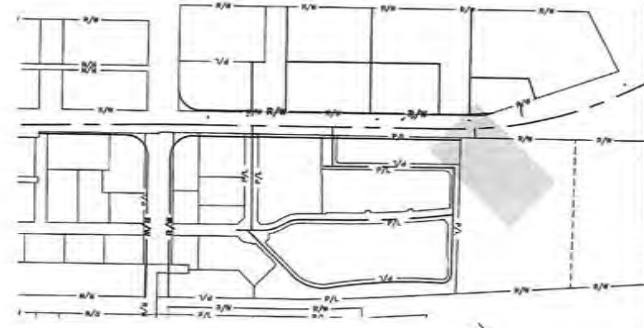
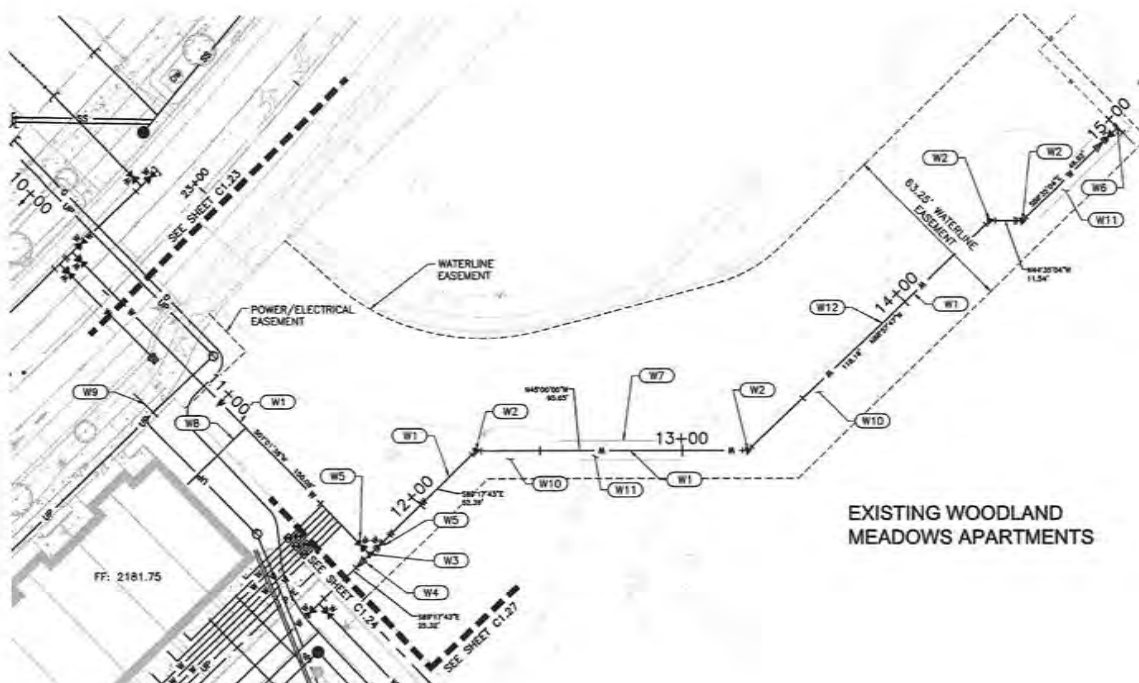
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Project No.: 20-20-008
Date: 6-7-2021
Drawn By: CCH
Checked By: PSL

Sheet No.:
C1.28

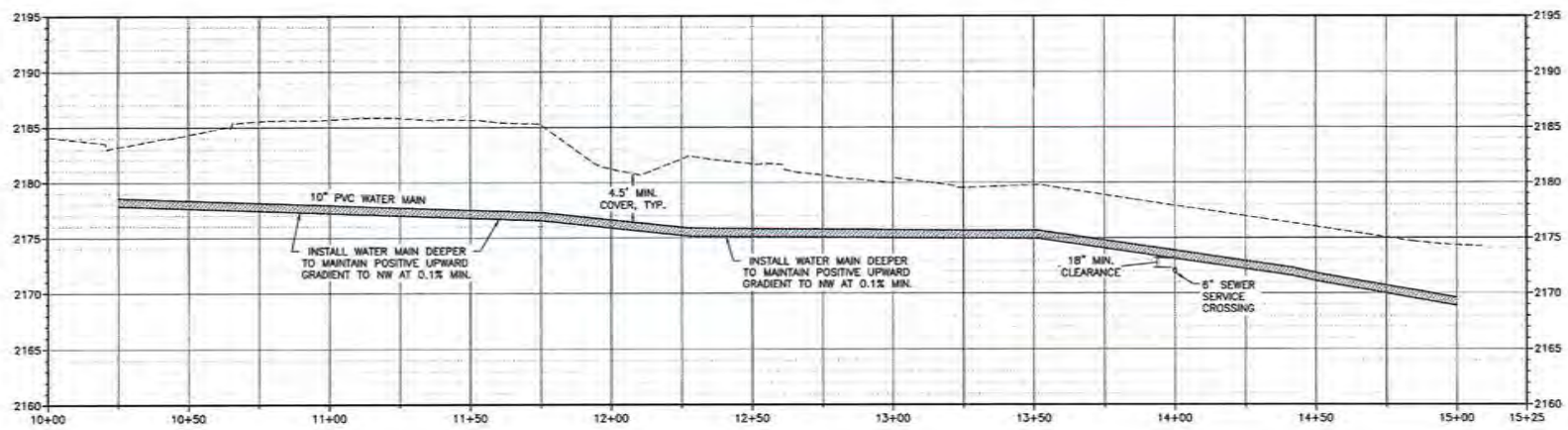


KEYED NOTES:

- WATER**
- W1 10" PVC WATER MAIN, 4.5" MIN COVER
 - W2 10" 45° BEND AND THRUST BLOCK
 - W3 10"x10" TEE AND THRUST BLOCK
 - W4 10"x8" REDUCER
 - W5 10" GATE VALVE
 - W6 CONNECT TO EXISTING WATER MAIN, DIG AND VERIFY DEPTH AND LOCATION, REMOVE 90° BEND AND INSTALL 8"x8" TEE WITH THRUST BLOCK AND 4" GATE VALVE.
 - W7 SAWCUT, TRENCH, AND SURFACE REPAIR PER CITY STD DWG 50 301
 - W8 8"x2" TAPPING SADDLE AND 2" FIRE WATER LINE WITH FITTINGS AS REQUIRED, CONFIRM FIRE RISER ROOM ON ARCHITECTURAL PLANS AND SEE FIRE PROTECTION PLANS FOR CONTINUATION AND BACKFLOW PREVENTION.
 - W9 4" IRRIGATION SLEEVE, SEE LANDSCAPE/IRRIGATION PLANS FOR CONTINUATION, VERIFY LOCATION, AND NUMBER OF SLEEVES WITH LANDSCAPE PLANS, TYP.
 - W10 RESTORE LANDSCAPING AND IRRIGATION TO PRE-EXISTING CONDITION
 - W11 REPAIR SIDEWALK, CURB, AND PAVEMENT TO PRE-EXISTING CONDITION
 - W12 WATER MAIN CROSSING OVER SEWER SERVICE, DIG AND VERIFY DEPTH AND SIZE OF SEWER SERVICE, MAINTAIN 18" VERTICAL SEPARATION, IF SEPARATION CAN'T BE MAINTAINED, SLEEVE WATER MAIN PER DETAIL.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

NOTES: MAINTAIN 18-INCH VERTICAL SEPARATION WITH DOMESTIC WATER MAINS AND SERVICES ABOVE SANITARY SEWER MAINS AND SERVICES AT ALL CROSSINGS.



CITY OF POST FALLS - APPROVED BY:

 12/17/2021
 CITY ENGINEER



PARTIAL UTILITY PLAN

MILLWORX PHASE 1
 A&A CONSTRUCTION & DEVELOPMENT
 POST FALLS, ID

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Project No. 20-25-066
 Date: 6-7-2021
 Drawn By: CCH
 Checked By: PFI
 Sheet No.

C1.30

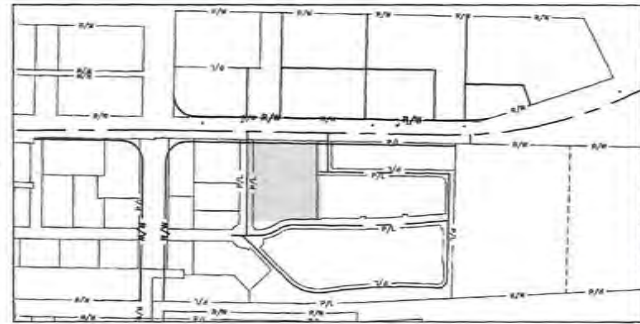
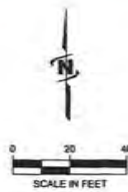
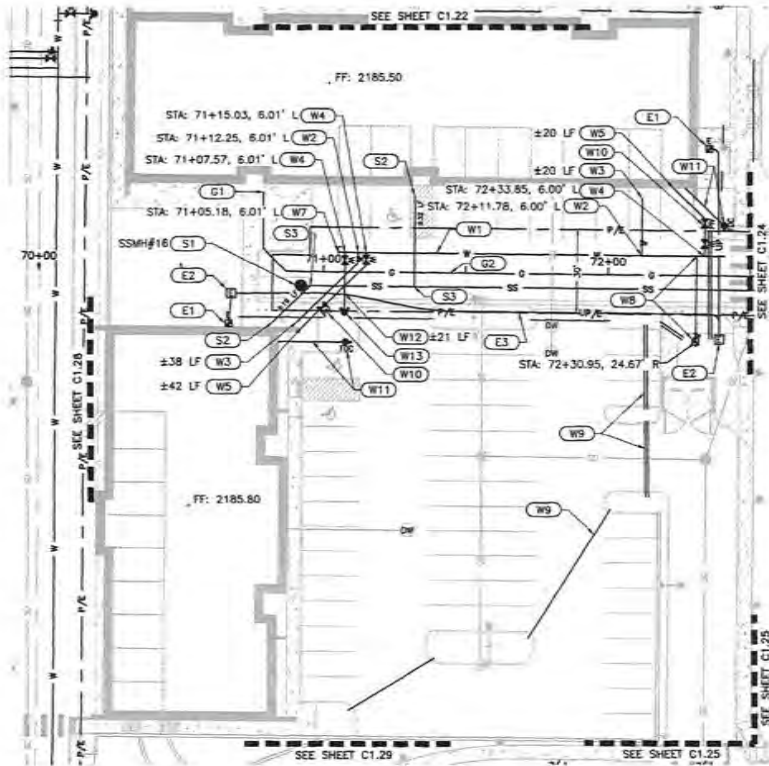


FIGURE OF TRAINING
 A&A SHALL REVIEW ALL COMMON LAW
 EXISTING, CONCEALED AND UNDER
 REACHED PORTS OF THESE UTILITIES
 AND THE SAME SHALL NOT BE REUSED
 WITHOUT A&A'S PRIOR WRITTEN
 COMMENT. ANY REUSE WITHOUT
 WRITTEN COMMENT BY A&A WILL BE AT
 USER'S SOLE RISK AND WITHOUT
 LIABILITY OR OBLIGATION TO A&A.

KEYED NOTES:

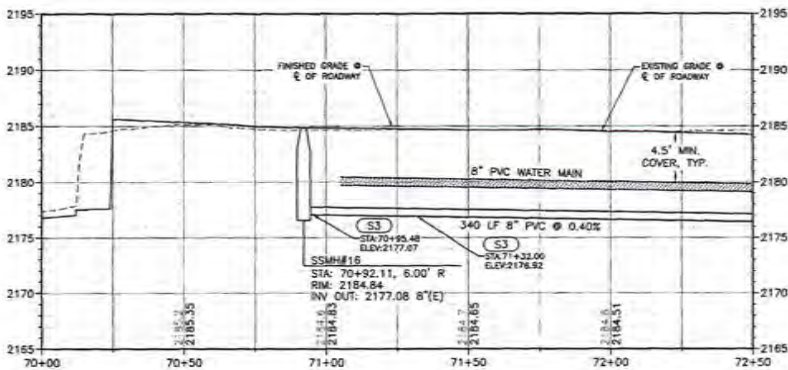
- WATER**
- (W1) 8" PVC WATER MAIN, 4.5 MIN. COVER
 - (W2) 8"x3" TAPPING SADDLE AND 3" GATE VALVE
 - (W3) 3" WATER SERVICE, 4.5" MIN. COVER, CAP 2" WATER SERVICE TO BUILDING
 - (W4) 8"x6" TEE AND THRUST BLOCK WITH 8" GATE VALVE
 - (W5) 8" WATER FIRE LINE, 4.5" MIN. COVER, CAP 6" FIRE WATER SERVICE TO BUILDING. (1)
 - (W6) 8"x2" TAPPING SADDLE, 2" WATER METER AND VALVE PER CITY STD DWG SD 402 FOR IRRIGATION USE. SEE LANDSCAPE/IRRIGATION PLANS FOR CONTINUATION.
 - (W7) 8" CAP AND MARK
 - (W8) 2" IRRIGATION WATER SERVICE, WATER METER AND VALVE PER CITY STD DWG SD 402. SEE LANDSCAPE/IRRIGATION PLANS FOR CONTINUATION.
 - (W9) 4" IRRIGATION SLEEVE. SEE LANDSCAPE/IRRIGATION PLANS FOR CONTINUATION. VERIFY LOCATION AND NUMBER OF SLEEVES WITH LANDSCAPE PLANS, TYP.
 - (W10) POST INDICATOR VALVE (PIV) LOCATION IF REQUIRED. SEE FIRE SPRINKLER DESIGN FOR PIV REQUIREMENTS.
 - (W11) FIRE DEPARTMENT CONNECTION (FDC) LOCATION AND LINE, IF REQUIRED. SEE FIRE SPRINKLER DESIGN FOR FDC REQUIREMENTS AND CONNECTION INTO THE BUILDING.
 - (W12) 6" FIRE LINE, 4.5" MIN. COVER
 - (W13) FIRE HYDRANT ASSEMBLY PER COFF STD DWG SD 401
- SEWER**
- (S1) SANITARY SEWER MANHOLE PER CITY STD DWG SD 501
 - (S2) 8" PVC BUILDING POINT OF CONNECTION, TYP. REFER TO PLUMBING PLANS FOR CONTINUATION
 - (S3) 8" PVC SEWER SERVICE @ 2.0% MIN. SLOPE PER CITY STD DWG SD 503, TYP.
- ELECTRICAL**
- (E1) ELECTRICAL METER POINT OF CONNECTION TO BUILDING. SEE ELECTRICAL PLANS FOR CONTINUATION.
 - (E2) PAD MOUNTED ELECTRICAL TRANSFORMER. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION. COORDINATE WITH A&A PRIOR TO INSTALLATION.
 - (E3) CONDUIT FOR POWER AND TELECOMMUNICATIONS. SEE ELECTRICAL PLANS FOR QUANTITY AND SIZE OF CONDUIT.
- GAS**
- (G1) CAP AND MARK GAS MAIN. COORDINATE WITH A&A PRIOR TO INSTALLATION.
 - (G2) NATURAL GAS PIPING. COORDINATE WITH A&A FOR PIPE SIZE, MATERIAL, AND DEPTH FOR GAS MAINS, SERVICE PIPES, AND CONNECTIONS PRIOR TO INSTALLATION.



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

NOTES:

- (1) FIRE SPRINKLER SYSTEM TO BE DESIGN-BUILD. CONTRACTOR TO COORDINATE FIRE LINE DIAMETER WITH FIRE SPRINKLER PLANS PRIOR TO CONSTRUCTION.
- (2) MAINTAIN 18-INCH VERTICAL SEPARATION WITH DOMESTIC WATER MAINS AND SERVICES ABOVE SANITARY SEWER MAINS AND SERVICES AT ALL CROSSINGS



PARTIAL UTILITY PLAN

MILLWORK PHASE 1
 A&A CONSTRUCTION & DEVELOPMENT
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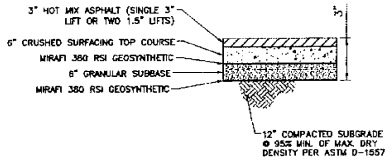
J-U-B ENGINEERS, INC.
 3725 Meadowlark Way
 Coeur d'Alene, ID 83815
 Phone: 208.762.8787
 www.jub.com

Project No: 20-25-088
 Date: 8-7-2021
 Drawn By: CCH
 Checked By: JTB

CITY OF POST FALLS - APPROVED BY:

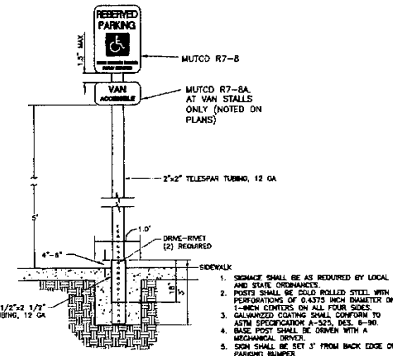
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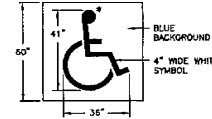
- NOTES:
1. ALL GRANULAR BASE/TOP COURSE SHALL BE COMPACTED TO A MIN. 92% MAX. DRY DENSITY PER ASTM D1557.
 2. HMA SHALL BE COMPACTED TO A MIN. 91% OF THE MAX. SPECIFIC GRAVITY (RICE DENSITY).
 3. ASPHALT PAVEMENT SHALL BE FD SUPERPAVE SP3 PG 58-28 WITH 1" MAX AGGREGATE SIZE.
 4. SEE PROJECT GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.

1 STANDARD DUTY ASPHALT
SCALE: N.T.S.



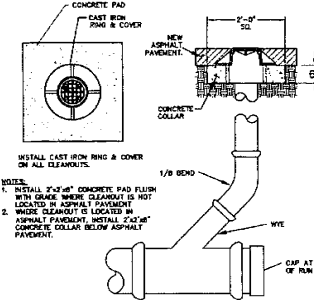
1. SIGNPOST SHALL BE AS REQUIRED BY LOCAL AND STATE ORDINANCES.
2. POSTS SHALL BE GALVANELECTRIFIED WITH PERFORATIONS OF 0.4375 INCH DIAMETER ON 1-1/2 INCH CENTERS ON ALL FOUR SIDES.
3. GALVANIZED COATING SHALL CONFORM TO ASTM SPECIFICATION A-653, COE. B-180.
4. BASE POST SHALL BE COVERED WITH A MECHANICAL COVER.
5. SIGN SHALL BE SET 3" FROM BACK EDGE OF PARKING STRIPPER.

2 ACCESSIBLE PARKING SIGN
SCALE: N.T.S.



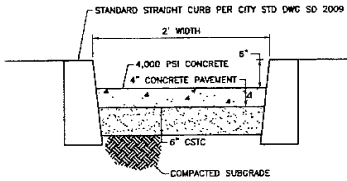
- NOTES:
1. 60"x60" BLUE BACKGROUND. BLUE SHALL BE IN ACCORDANCE WITH MUTCD/FEDERAL SPECIFICATIONS.
 2. 41"x36" SYMBOL OF ACCESSIBILITY SHALL BE WHITE.

3 PAINTED ACCESSIBLE PARKING SYMBOL
SCALE: N.T.S.

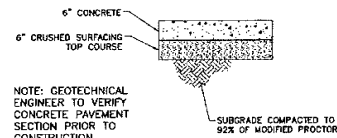


- INSTALL CAST IRON RIM & COVER ON ALL CLEANOUTS.
- NOTES:
1. INSTALL 2" X 4" CONCRETE PAD FLUSH WITH GRADE WHERE CLEANOUT IS NOT LOCATED IN ASPHALT PAVEMENT.
 2. WHERE CLEANOUT IS LOCATED IN ASPHALT PAVEMENT, INSTALL 2" X 4" CONCRETE COLLAR BELOW ASPHALT PAVEMENT.

4 CLEANOUT ASSEMBLY
SCALE: N.T.S.

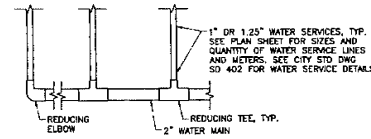


5 DRAINAGE CHANNEL
SCALE: N.T.S.

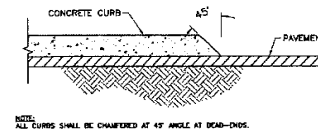


NOTE: GEOTECHNICAL ENGINEER TO VERIFY CONCRETE PAVEMENT SECTION PRIOR TO CONSTRUCTION.

6 CONCRETE PAVEMENT
SCALE: N.T.S.

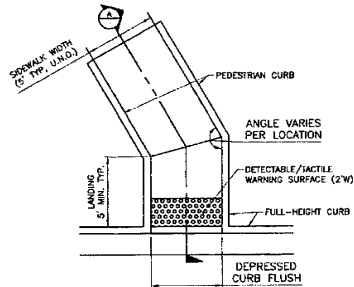


7 WATER SERVICE MANIFOLD
SCALE: N.T.S.

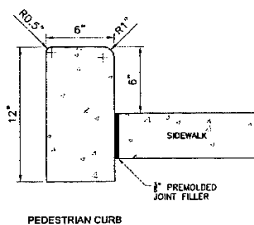
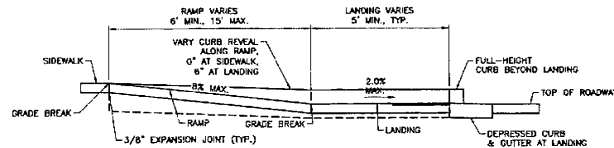


NOTE: ALL CURBS SHALL BE CHAMFERED AT 45 ANGLE AT BEAD-ENDS.

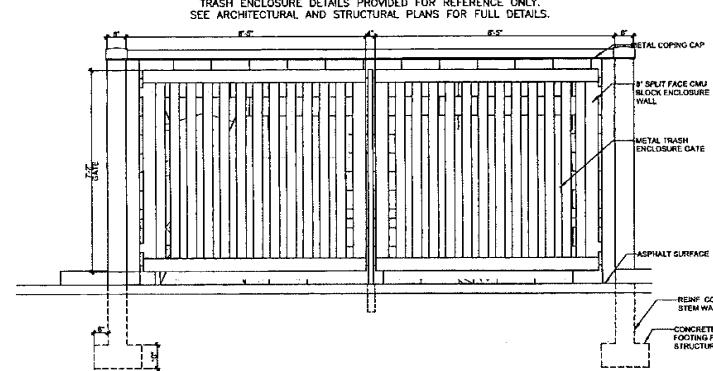
8 CURB TERMINATION
SCALE: N.T.S.



9 PEDESTRIAN RAMP DETAIL
SCALE: N.T.S.



PEDESTRIAN CURB



10 TRASH ENCLOSURE ELEVATION
SCALE: N.T.S.

CITY OF POST FALLS - APPROVED BY:
[Signature] 12/17/2021
CITY ENGINEER



STATE OF IDAHO
REGISTERED PROFESSIONAL ENGINEER
11223
WAG, WALTER A.
CIVIL ENGINEER

BEFORE OF ANY OTHER
STATE, COUNTY AND OTHER
RESERVED RIGHTS OF THESE CHARTERS
AND THE SAME SHALL NOT BE ISSUED
WITHOUT THE WRITTEN
CONSENT OF ANY PARTY WITHOUT
WRITTEN CONSENT BY ALL BEING AT
CLIENT'S RISK, PER AND WITHOUT
LIABILITY OR LEGAL RESPONSIBILITY TO AGOR

DETAILS

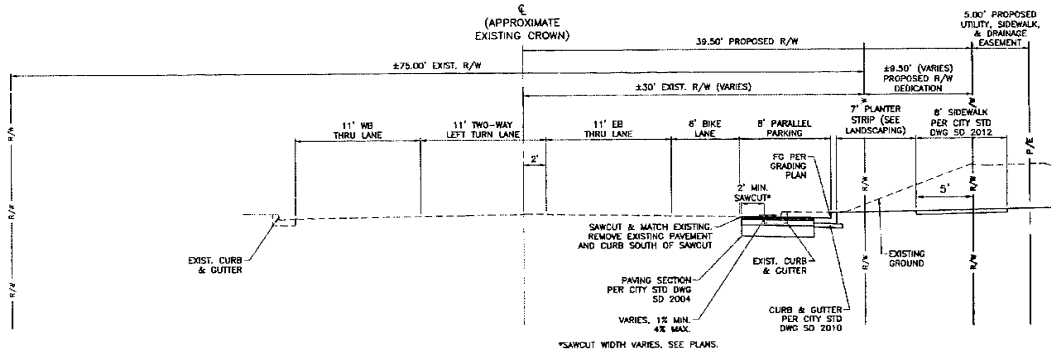
MILLWORK PHASE 1
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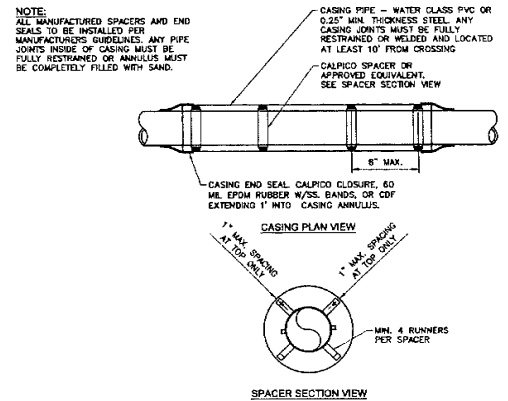


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Project No.: 20-20-068
Date: 6/7/2021
Drawn By: CCH
Checked By: PGI
Sheet No.: C5.00



1 4TH AVENUE TYPICAL SECTION
SCALE: N.T.S.



2 PIPE CASING DETAIL
SCALE: N.T.S.

GENERAL NOTES:

1. THE DESIGN PERTAINING TO SEPARATION REQUIREMENTS FOR POTABLE WATER AND NON-POTABLE WATER PIPELINES LOCATED WITHIN PUBLIC RIGHTS OF WAY, THE TERM "PIPELINE" APPLIES TO BOTH MAINS AND SERVICES.
2. REFER TO SDWA 58.01.08.02.07 (LEAD) RULES FOR PUBLIC DRINKING WATER SYSTEMS AND SDWA 58.01.16.03.02.02 (DRINK WATER TREATMENT RULES) FOR ALL SEPARATION REQUIREMENTS.
3. ANY CONDITIONS NOT MEETING THESE TYPICAL SEPARATION REQUIREMENTS MUST HAVE A SITE SPECIFIC APPROVAL (SEE SEPARATION NOTES) AND BE APPROVED BY THE DEPARTMENT.
4. NON-POTABLE MAINS ARE PROHIBITED FROM BEING LOCATED IN THE SAME TRENCH AS POTABLE MAINS, NEW POTABLE SERVICES ARE PROHIBITED FROM BEING LOCATED IN THE SAME TRENCH AS NON-POTABLE MAINS OR NON-POTABLE SERVICES.
5. PRESSURE SEWAGE MAINS SHALL BE NO CLOSER HORIZONTALLY THAN TEN (10) FEET AND NO CLOSER VERTICALLY THAN EIGHTEEN (18) INCHES FROM POTABLE MAINS.
6. EXISTING POTABLE SERVICES IN RELATION TO NEW NON-POTABLE MAINS, EXISTING NON-POTABLE SERVICES IN RELATION TO NEW POTABLE MAINS, AND EXISTING POTABLE SERVICES IN RELATION TO NEW NON-POTABLE SERVICES SHALL MEET THE REQUIREMENTS OF SDWA 58.01.16.03.02.02.A, WHERE PRACTICAL, BASED ON COST, CONSTRUCTION PRACTICES, AND PUBLIC HEALTH CONSIDERATIONS. IF THE DEPARTMENT (DEPT) DETERMINES THAT THERE ARE SIGNIFICANT HEALTH CONCERNS WITH THESE SERVICES, SUCH AS WHERE A LARGE EXISTING SERVICE SERVES AN APARTMENT BUILDING OR A SHOPPING CENTER, THEN THE DESIGN SHALL CONFORM WITH SDWA 58.01.16.03.02.02.A.

HORIZONTAL SEPARATION REQUIREMENT NOTES (REFERENCE: SDWA 58.01.16.03.02.02):

NON-POTABLE MAINS IN RELATION TO POTABLE MAINS:

- ZONE 1: GREATER THAN TEN (10) FEET SEPARATION: NO ADDITIONAL REQUIREMENTS BASED ON SEPARATION DISTANCE.
- ZONE 2: TEN (10) FEET TO SIX (6) FEET SEPARATION: SEPARATE TRENCHES, WITH BOTTOM OF THE POTABLE MAIN ABOVE THE TOP OF THE NON-POTABLE MAIN, AND NON-POTABLE MAIN CONSTRUCTED WITH POTABLE-WATER CLASS PIPE.
- ZONE 3: LESS THAN SIX (6) FEET SEPARATION: DESIGN ENGINEER TO SUBMIT DATA TO THE DEPARTMENT FOR REVIEW AND APPROVAL THAT THE INSTALLATION WILL PROTECT PUBLIC HEALTH AND ENVIRONMENT AND NON-POTABLE MAINS CONSTRUCTED WITH POTABLE-WATER CLASS PIPE.

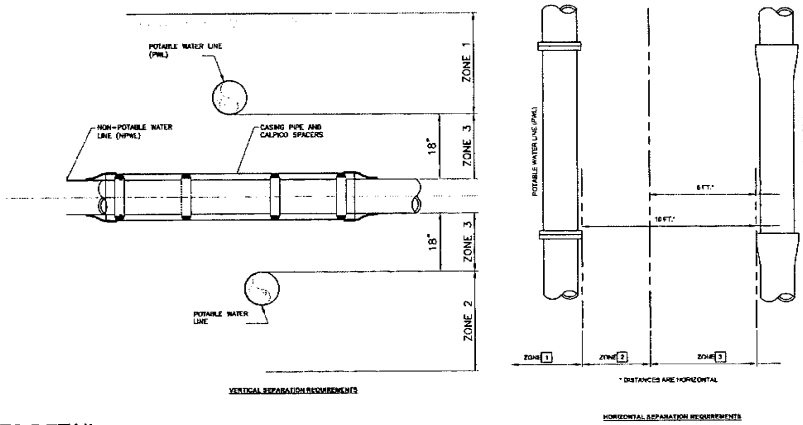
NEW NON-POTABLE SERVICES IN RELATION TO POTABLE SERVICES, NEW NON-POTABLE SERVICES IN RELATION TO POTABLE MAINS, AND NEW POTABLE SERVICES IN RELATION TO NON-POTABLE MAINS:

- ZONE 1: GREATER THAN SIX (6) FEET SEPARATION: NO ADDITIONAL REQUIREMENTS BASED ON SEPARATION DISTANCE.
- ZONE 2: LESS THAN SIX (6) FEET SEPARATION: DESIGN ENGINEER TO SUBMIT DATA THAT THIS INSTALLATION WILL PROTECT PUBLIC HEALTH AND THE ENVIRONMENT AND NON-POTABLE SERVICE CONSTRUCTED WITH POTABLE WATER CLASS PIPE.

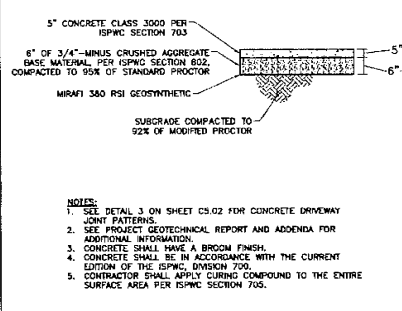
VERTICAL SEPARATION REQUIREMENT NOTES (REFERENCE: SDWA 58.01.16.03.02.02):

NON-POTABLE PIPELINE: NON-POTABLE PIPELINE ABOVE POTABLE PIPELINE:

- ZONE 1: EIGHTEEN (18) INCHES OR MORE VERTICAL SEPARATION ABOVE POTABLE PIPELINE.
- ZONE 2: EIGHTEEN (18) INCHES OR MORE VERTICAL SEPARATION WITH POTABLE PIPELINE BELOW NON-POTABLE PIPELINE. NON-POTABLE PIPELINE JOINT TO BE AS FAR AS POSSIBLE FROM THE POTABLE WATER PIPELINE, AND NON-POTABLE PIPELINE MUST BE SUPPORTED THROUGH THE CROSSING TO PREVENT SETTLING.
- ZONE 3: LESS THAN EIGHTEEN (18) INCHES VERTICAL SEPARATION WITH POTABLE WATER PIPELINE, AND EITHER:
 - a) NON-POTABLE PIPELINE JOINT TO BE AS FAR AS POSSIBLE FROM THE POTABLE WATER PIPELINE, AND EITHER
 - b) NON-POTABLE PIPELINE CONSTRUCTED WITH POTABLE WATER CLASS PIPE FOR A MAXIMUM OF TEN (10) FEET OTHER SIDE OF POTABLE PIPELINE WITH A SINGLE TWENTY (20) FOOT SECTION OF POTABLE WATER CLASS PIPE CENTERED ON THE CROSSING, OR
 - c) SLUICING NON-POTABLE OF POTABLE PIPELINE WITH POTABLE WATER CLASS PIPE FOR TEN (10) FEET EITHER SIDE OF CROSSING, USE OF HYDRAULIC CEMENTITIOUS MATERIALS SUCH AS CONCRETE, CONTRACTOR SHALL APPLY CURING COMPOUND TO THE ENTIRE SURFACE AREA PER ISPC SECTION 705.
- ZONE 4: IF THE POTABLE PIPELINE IS BELOW NON-POTABLE PIPELINE, THE NON-POTABLE PIPELINE MUST ALSO BE SUPPORTED THROUGH THE CROSSING TO PREVENT SETTLING.



3 IDEQ NPWL SEPARATION REQUIREMENTS DETAIL
SCALE: N.T.S.



4 CONCRETE PAVEMENT
SCALE: N.T.S.

REVISIONS:

PROFESSIONAL ENGINEER
REGISTERED
11223
STATE OF IDAHO
CIVIL ENGINEER

REVISIONS:

ALSO SHALL BE IN ALL COMMON LANE SEPARATORS, COMPACTOR AND OTHER SEPARATORS OF THREE SERVICES, AND THE SAME SHALL NOT BE REUSED WITHOUT ADEQUATE PROTECTIVE MEASURES. ANY REUSE WITHOUT WRITTEN CONSENT BY AIA WILL BE AT CLIENT'S RISK AND WITHOUT LIABILITY OR LEGAL RESPONSIBILITY TO AIA.

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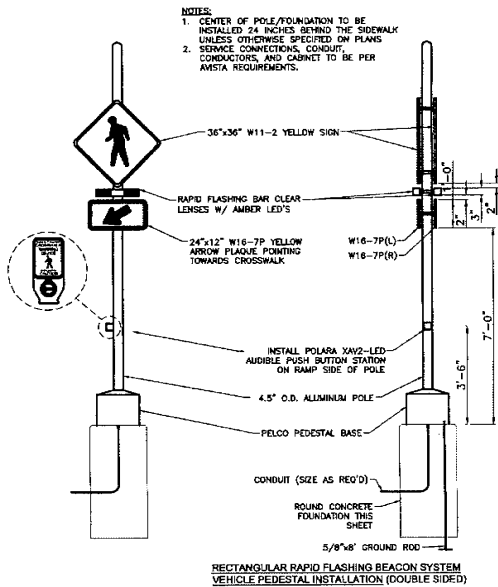
JUB

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www.jub.com

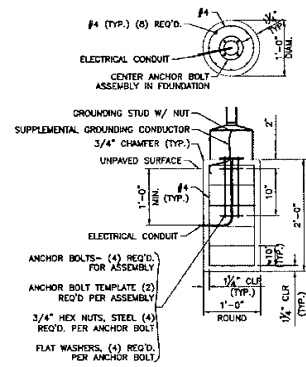
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Date: 6-7-2021
Drawn By: CCM
Checked By: PSL

CITY OF POST FALLS - APPROVED BY:
Paul H. [Signature] 12/17/2021
CITY ENGINEER

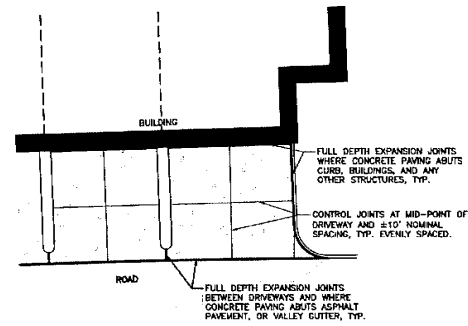
C5.01



1 RECTANGULAR RAPID FLASHING BEACON SYSTEM AND ACTIVATION BUTTON
SCALE: N.T.S.



2 ROUND CONCRETE FOUNDATION DETAIL
SCALE: N.T.S.



3 TYPICAL CONCRETE DRIVEWAY JOINTS
SCALE: N.T.S.

Revisions:



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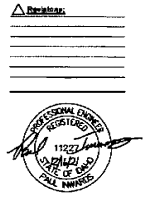
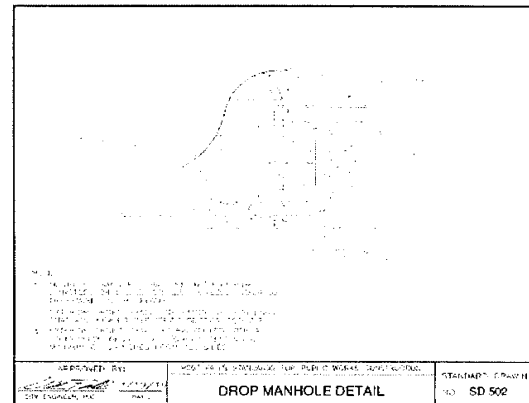
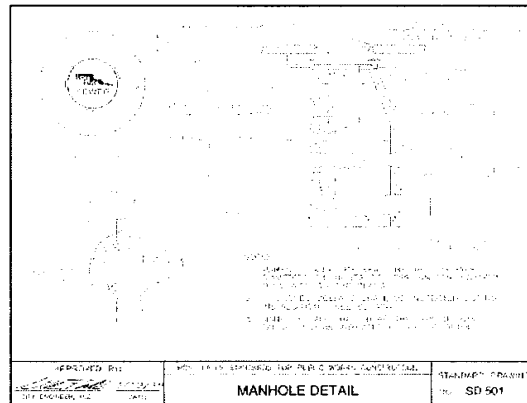
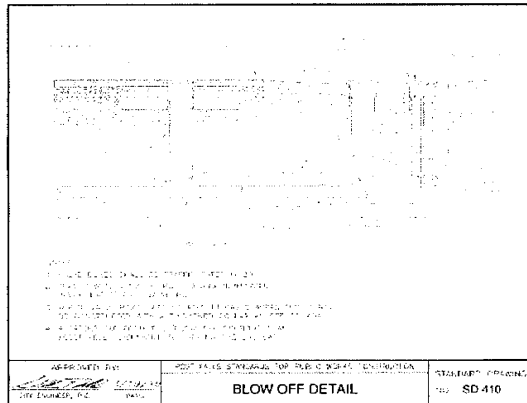
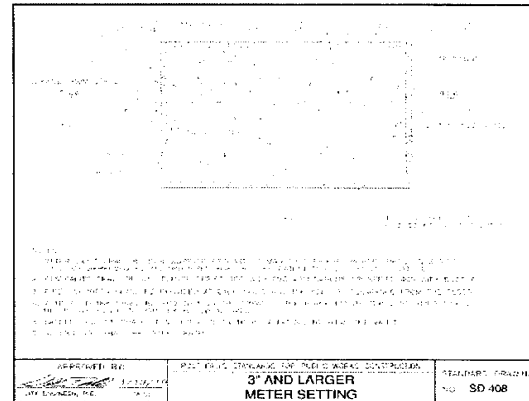
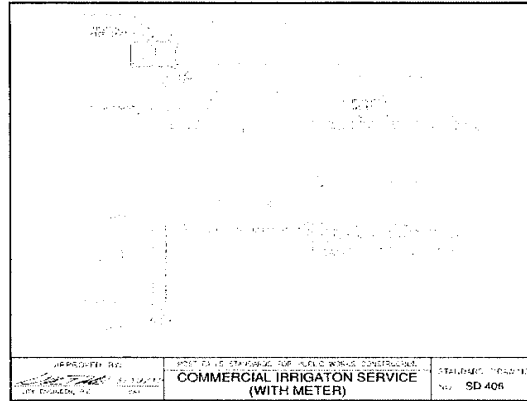
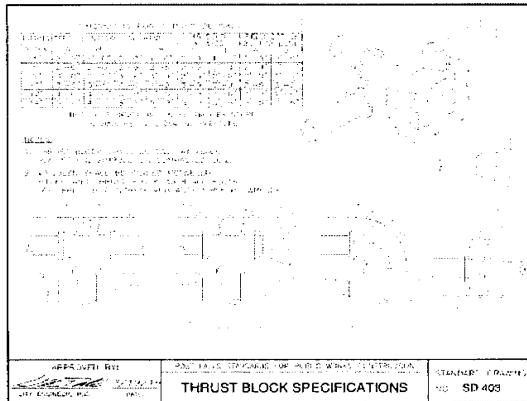
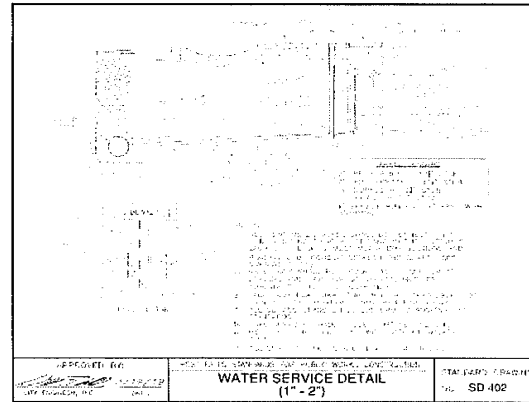
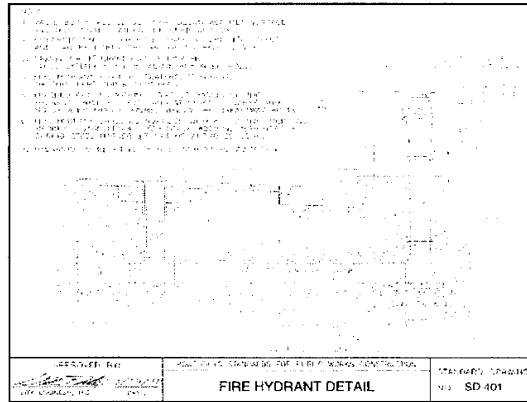
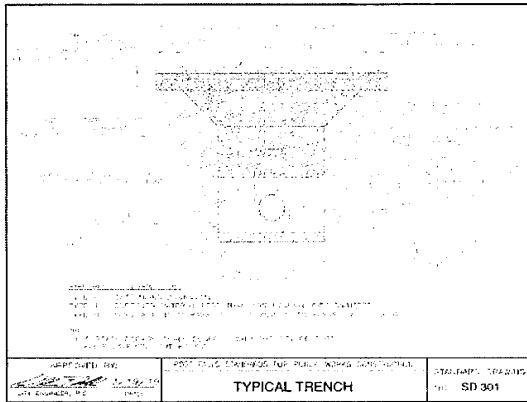
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Date: 6/7/2021
Drawn By: DCH
Checked By: PFR

Sheet No.

CITY OF POST FALLS - APPROVED BY:

Robbie 12/17/2021
CITY ENGINEER

C5.02



STATE OF IDAHO
 J. B. WAG
 No. 11222
 PROFESSIONAL ENGINEER
 STATE OF IDAHO

NOTICE OF CONSENT
 I, J. B. WAG, HEREBY CONSENT TO THE CITY OF FALLS, IDAHO, USING MY SEAL AND SIGNATURE ON ANY AND ALL CONTRACTS, AGREEMENTS, AND OTHER INSTRUMENTS OF THE CITY OF FALLS, IDAHO, AND THE SAME SHALL NOT BE VOIDED WITHOUT MY WRITTEN CONSENT. MY WRITTEN CONSENT BY J. B. WAG WILL BE AT CLIENT'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO J. B. WAG.

CITY STANDARD DETAILS

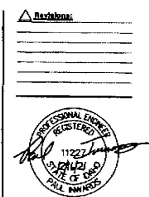
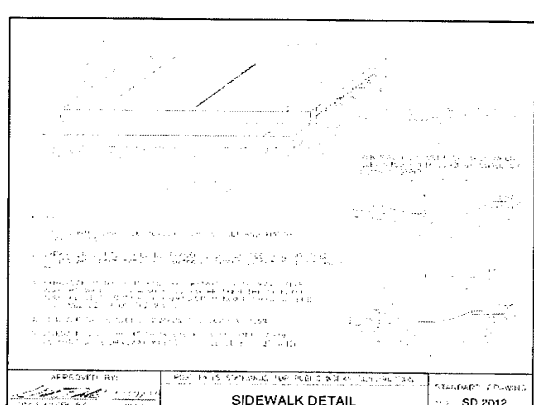
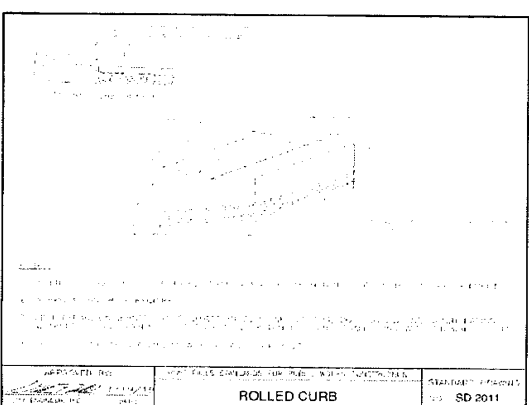
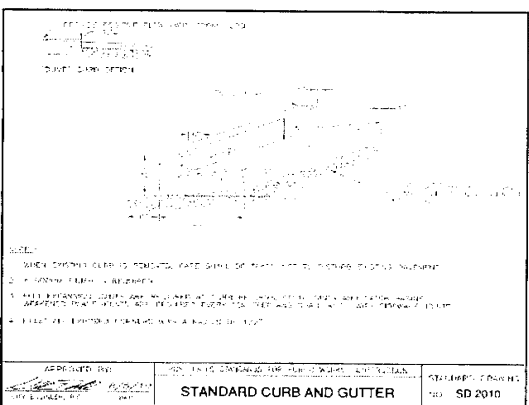
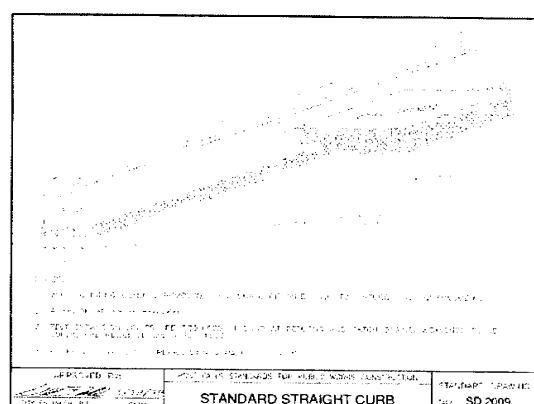
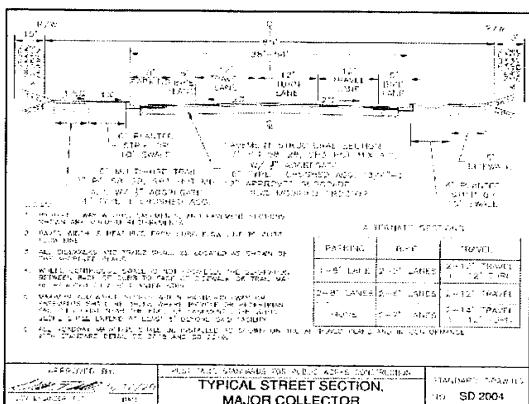
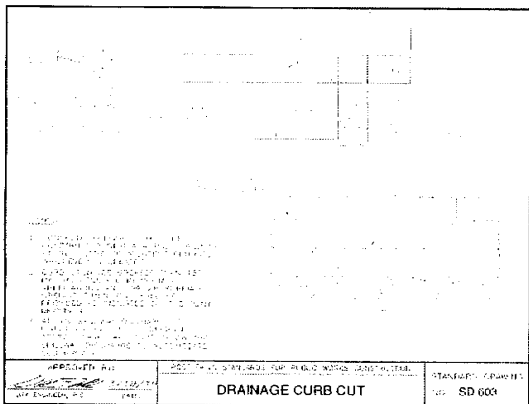
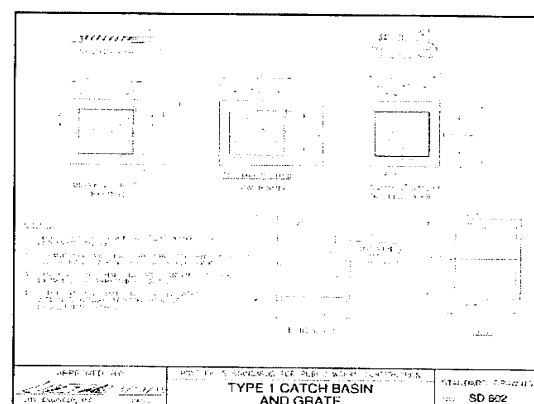
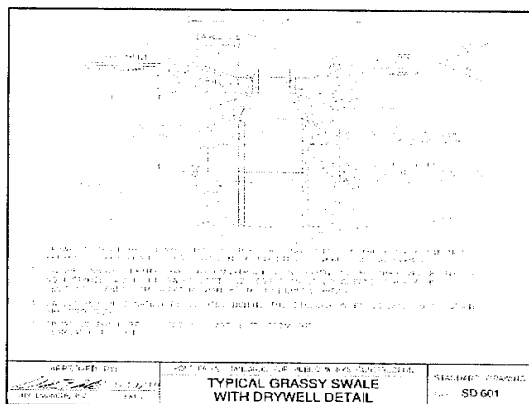
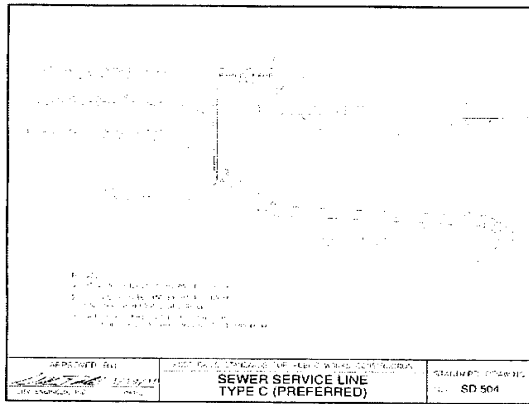
MILLWORX PHASE 1
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Printed No.: 20-00-000
 Date: 6-7-2021
 Drawn By: CCH
 Checked By: PSJ

Sheet No.
C5.03



DESIGN OF SEWERAGE AND STORM DRAINAGE SHALL BE IN ACCORDANCE WITH THE IOWA DEPARTMENT OF TRANSPORTATION AND PUBLIC SAFETY DIVISION, CHAPTER 881.01, IAC. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

CITY STANDARD DETAILS

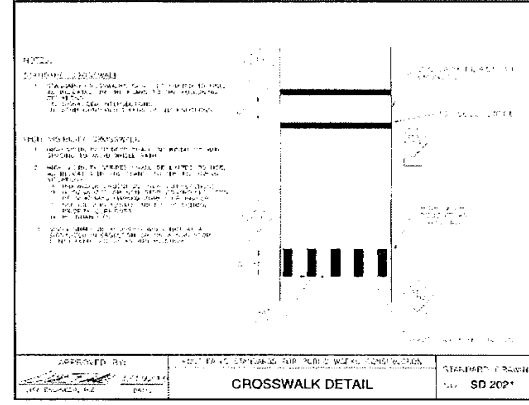
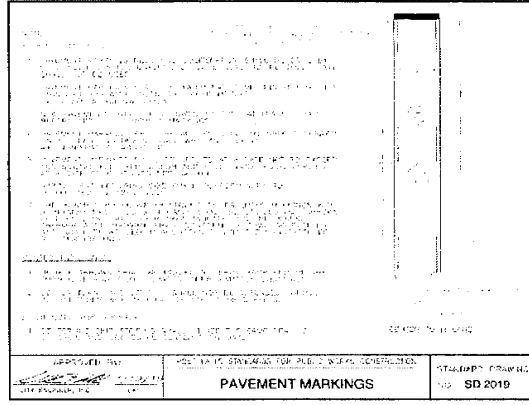
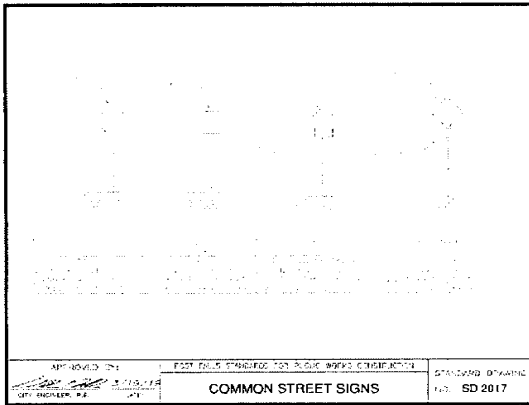
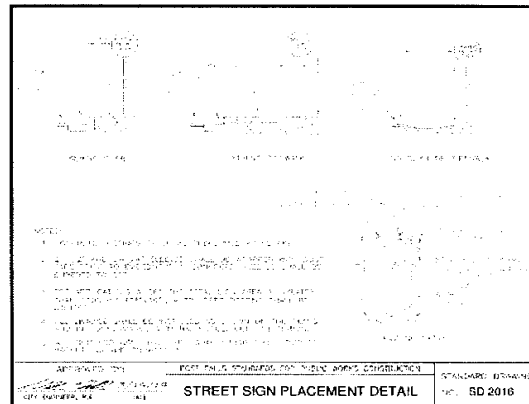
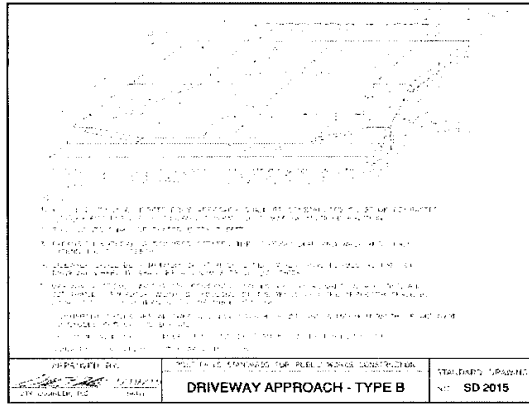
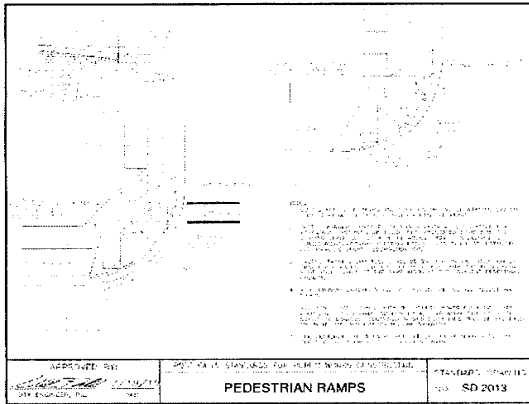
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Project No.: 20-09-080
Date: 5-7-2021
Drawn By: CCH
Checked By: PGI

Sheet No.: C5.04



NOTICE TO CONTRACTOR
 A&A SHALL REVIEW ALL CONSTRUCTION PERMITS, CONDITIONS AND OTHER REQUIRED PERMITS OF THESE DRAWINGS AND THE SAME SHALL NOT BE RELEASED WITHOUT A&A'S PRIOR WRITTEN CONSENT. ANY ISSUES WITHOUT WRITTEN CONSENT BY A&A WILL BE AT CLIENT'S RISK. SEE L&E WITHOUT LIABILITY OR LEGAL EXPOSURE TO A&A.

CITY STANDARD DETAILS

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Project No.: 20-20-008
 Date: 6-7-2021
 Drawn By: CCH
 Checked By: PSH

Sheet No. **C5.05**

CALLOUTS

- 1) EXISTING FENCE TO REMAIN, PRESERVE AND PROTECT.
- 2) SOCIAL BRACKENBERRY BARN.
- 3) BENCH ON CONCRETE PAWL.
- 4) PLAZA.
- 5) DOG PARK.
- 6) PLAYGROUND WITH SAFETY SURFACING.
- 7) PLAY EQUIPMENT.

LEGEND

- 1" TURF GRASS SOO WITH 4" OF PLANTING SOIL TYPE II.
- 2" OF SAND/INCH TYPE I AND WEED CONTROL FABRIC.
- 3" LOW MAINTENANCE GRASS HYDRSEED, SEE CIVIL FOR SINGLE SOILS.
- 4" PLANTING AREA WITH 4" OF PLANTING SOIL TYPE B AND 2" OF SAND/INCH TYPE I AND WEED CONTROL FABRIC.
- 5" OF SAND/INCH SOO OR TYPE I AND WEED CONTROL FABRIC.
- 6" PLAYGROUND SAFETY SURFACING.
- 7" FENCE, SEE ARCHITECTURAL.
- 8" TALL FENCE, COLORED BLACK.
- 9" WIDE CONCRETE MONORAIL, SEE L1.1 DETAIL H.
- 10) SOCIAL SEE CIVIL PLANS.
- 11) CATCH BASIN, SEE CIVIL PLANS.
- 12) DRYWELL, SEE CIVIL PLANS.
- 13) FIRE HYDRANT, SEE CIVIL PLANS.
- 14) BOLLARD LIGHT, SEE ELECTRICAL PLANS.
- 15) STREET LIGHT, SEE ELECTRICAL PLANS.
- 16) WATER LINE, SEE CIVIL PLANS.
- 17) SEWER, SEE CIVIL PLANS.
- 18) STORM DRAINAGE, SEE CIVIL PLANS.
- 19) GAS, SEE CIVIL PLANS.
- 20) UNDERGROUND POWER, SEE ELECTRICAL PLANS.
- 21) PROPERTY LINE, SEE CIVIL PLANS.
- 22) EXISTING FENCE, PRESERVE AND PROTECT.

PLANTING NOTES

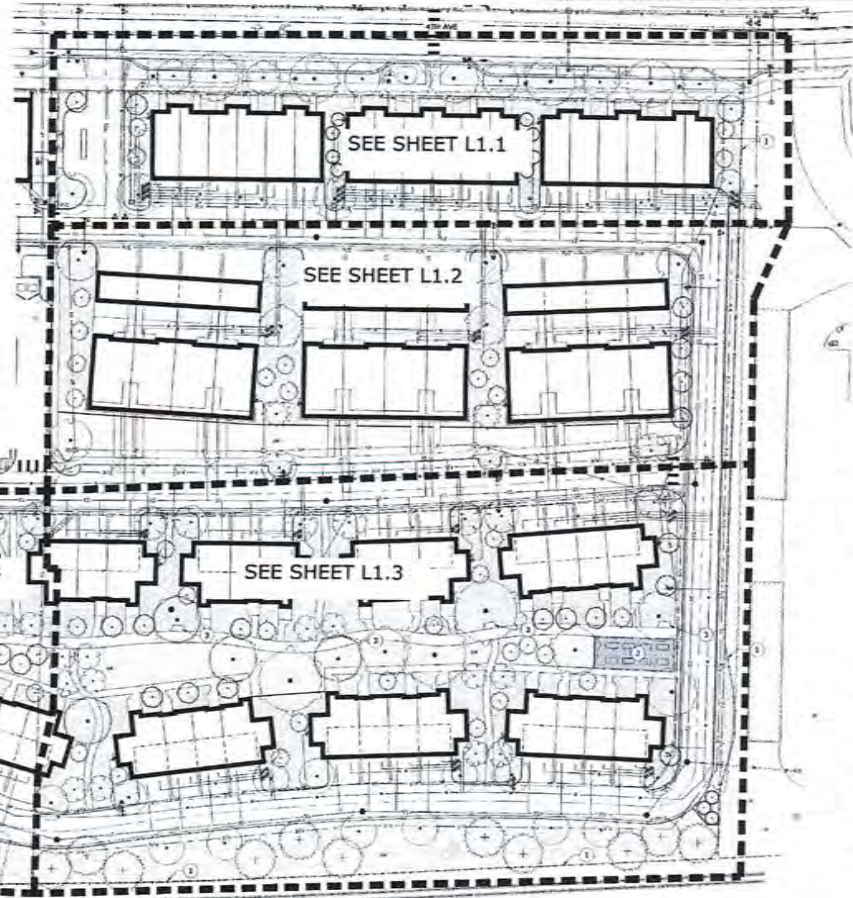
1. CONTRACTOR SHALL CALL 811 TO LOCATE ALL EXISTING ABOVE OR BELOW GRADE ON-SITE UTILITIES PRIOR TO COMMENCEMENT OF WORK, INCLUDING PLANTING. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL DISCREPANCIES BETWEEN WHAT IS SHOWN AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE, PRESERVE AND PROTECT EXISTING UTILITIES TO REMAIN FROM DAMAGE OR DISRUPTION, TYPICAL. MAINTAIN LOCKETS DURING CONSTRUCTION FOR REFERENCE. CONTRACTOR SHALL RECORD ALL UTILITY MARKINGS ON A SEPARATE SET OF DRAWINGS. THIS SET SHALL BE LEFT ON-SITE FOR REFERENCE FOR DURATION OF CONTRACT.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION AND NOTIFYING THE OWNER AND OWNER REPRESENTATIVES OF DISCREPANCIES. VERIFY THAT SUB GRADE PREPARATION HAS BEEN COMPLETED TO ACCEPTABLE TOLERANCES PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR ACCEPTS SUB GRADES UPON COMMENCEMENT OF WORK AND IS RESPONSIBLE FOR ANY CORRECTIONS REQUIRED AFTER WORK BEGINS.
3. REMOVE ALL CONSTRUCTION DEBRIS, CONCRETE, MORTAR, ROCKS, ETC FROM LANDSCAPE AREAS PRIOR TO SUB GRADE PREPARATION AND INSTALLATION OF PLANTING SOIL.
4. TREES AND SHRUBS TO MEET REQUIREMENTS OF AMERICAN STANDARD FOR NURSERY STOCK FOR SIZE AND MATERIAL CONDITION.
5. PLANT COUNTS IN LEGEND ARE FOR REFERENCE ONLY. PLANT SYMBOLS DICTATE THE REQUIRED PLANTS.
6. TREE LOCATIONS MAY VARY DEPENDING ON WIND, DIRECTION, AND UTILITY LOCATIONS. STAKE FOR APPROVAL PRIOR TO PLANTING.
7. LAYOUT OF ROWS AND SIDING TO BE MARKED FOR APPROVAL PRIOR TO INSTALLATION.
8. DO NOT COMPACT BOTTOMS OF SHOALS, PROTECT SHOALS FROM CONSTRUCTION TRAFFIC AND DEBRIS. SEE CIVIL PLANS FOR SOILS IN SHOALS.
9. ALL TREES TO BE SINGLE TRUNKED, UNLESS OTHERWISE NOTED. MULTI-TRUNKED TREES TO INCLUDE MAIN LEADER EQUAL OR GREATER TO SIZE SPECIFIED.
10. TREES OF THE SAME SPECIES SHALL BE PLANTED FROM SAME LOT AND GROWER.

LANDSCAPE STANDARDS PER CITY OF POST FALLS CITY CODE 18.24.080

PRIVATE ROADS AND ALLEYS	92,735 SQ. FT.	
INTERIOR TREES (CLASS III TREES)	(17) CLASS III TREES	39,000 SQ. FT.
PERIMETER TREES (CLASS III TREES)	(4) CLASS III TREES	6,800 SQ. FT.
INTERIOR TREES (CLASS II TREES)	(17) CLASS II TREES	32,000 SQ. FT.
PERIMETER TREES (CLASS II TREES)	EIGHTEEN (18) CLASS II TREES	18,000 SQ. FT.
PERIMETER TREES (CLASS I TREES)	EIGHT (8) CLASS I TREES	3,800 SQ. FT.
TOTAL		99,600 SQ. FT.

PLANT LEGEND

TREES	BOTANICAL / COMMON NAME	SIZE	HEIGHT	WIDTH	QTY
•	Acer rubrum "Scarlet Sentinel" / Scarlet Sentinel Maple	2" CAL.	40'	25'	21
•	Acer saccharum "Commemoration" / Commemoration Sugar Maple	2" CAL.	50'	35'	2
•	Acer x freemanii "Inlithed" TM / Autumn Blaze Maple	2" CAL.	50'	35'	4
•	Chamaecyparis obtusa "Gracilis" / Slender Norway Cypress	7-8" TAB	12'	5'	2
•	Cornus kousa / Kousa Dogwood	2" CAL.	25'	20'	3
•	Fagus grandifolia / American Beech	2" CAL.	60'	50'	3
•	Fraxinus americana "Autumn Blaze" / White Ash	2" CAL.	45'	25'	1
•	Liriodendron tulipifera / Tulip Poplar	2" CAL.	80'	35'	4
•	Liriodendron tulipifera "HS-CL" TM / Emerald City Tulip Poplar	2" CAL.	50'	25'	4
•	Liriodendron tulipifera "Avalon" / Arnold Tulip Poplar	2" CAL.	25'	15'	25
•	Pinus fertilis "Vanderwolf's Pyramid" / Vanderwolf's Pyramid Pine	7-8" TAB	25'	15'	39
•	Pinus ponderosa / Ponderosa Pine	7-8" TAB	80'	38'	11
•	Pinus silvestris "Fastigata" / Erect Scotch Pine	7-8" TAB	25'	10'	11
•	Prunus sargentii "Columnar" / Columnar Sargent Cherry	2" CAL.	35'	15'	15
•	Quercus rubra "Pinnatifid" TM / Skymaster English Oak	2" CAL.	50'	25'	14
•	Stypholobium japonicum "Halo" TM / Hibiscus Japanese Pagoda Tree	2" CAL.	50'	35'	5
•	Tilia mongolica "Harvest Gold" / Harvest Gold Linden	2" CAL.	40'	38'	2
•	Tilia tomentosa "Sterling" / Sterling Silver Linden	2" CAL.	85'	38'	9



CITY OF POST FALLS GENERAL LANDSCAPE NOTES

- ALL CONTRACTOR WORK SHALL BE IN ACCORDANCE WITH IDAHO STANDARD PUBLIC WORKS CONSTRUCTION, IDAHO STATE CODE, AND POST FALLS MUNICIPAL CODE.
- SEE CIVIL PLANS FOR GRADING AND DRAINAGE INFORMATION. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO DIGGING. ANY DAMAGE TO EXISTING UTILITIES ON SITE OR ADJACENT PROPERTY SHALL BE CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR RESPONSIBLE FOR ALL REQUIRED PERMITS AND CODES.
- LANDSCAPING SHALL BE COMPLETED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY. IF LANDSCAPING CANNOT BE COMPLETED PRIOR TO OCCUPANCY DUE TO WEATHER OR OTHER EXTENUATING CIRCUMSTANCES, FINANCIAL GUARANTEES SHALL BE PROVIDED.
- CONTRACTOR IS RESPONSIBLE FOR CHECKING ANY QUESTIONABLE NOTES, PLANT NAMES, SIZES, AND QUANTITIES. IN THE EVENT OF DISCREPANCY OR SITE FACTORS AFFECTING INSTALLATION AS PER PLAN, NOTIFY THE LANDSCAPE ARCHITECT.
- PROVIDE A FULLY IRRIGATED UNDERGROUND SPRINKLER SYSTEM FOR ALL LANDSCAPED AND SHALE AREAS. SYSTEM SHALL HAVE BACKFLOW PREVENTION, A SEPARATE WATER METER FOR IRRIGATION SHOULD BE INSTALLED SO THAT IRRIGATION WATER CAN BE SUBTRACTED FOR SEWER BILLING PURPOSES.
- IRRIGATION FOR ALL RIGHT-OF-WAY LANDSCAPING SHALL BE THE RESPONSIBILITY OF ADJACENT PROPERTY OWNERS.
- NO PLANTING SHALL BE DONE UNTIL INSTALLATION OF THE IRRIGATION SYSTEM IS COMPLETED, FINAL GRADES HAVE BEEN ESTABLISHED, AND PLANTING AREAS HAVE BEEN PROPERLY GRADED AND PREPARED.
- GROUND PREPARATION - PROPER GROUND PREPARATION AND INSTALLATION IS REQUIRED FOR AN APPROVED LANDSCAPE. THE FOLLOWING SPECIFICATIONS SHALL BE THE MINIMUM:
 - SOILS IN PLANTING AREAS SHALL HAVE ADEQUATE POROSITY TO ALLOW ROOT GROWTH. SOILS THAT HAVE BEEN COMPACTED SHALL BE LOOSENOED TO INCREASE AERATION TO A MINIMUM DEPTH OF EIGHTEEN INCHES (18") OR REPLACED WITH IMPORTED TOPSOIL.
 - TOPSOIL THAT IS IRREGULARLY FREE FROM STONES SHALL BE PLACED IN ALL PLANTING BEDS. SUBSOIL SHALL NOT BE USED AS A PLANTING MEDIUM. PLANTING AREAS MUST BE FILLED TO THE TOP OF ALL CURBS OR EDGES OF A PLANTING BED, ALLOWING FOR SETTLING OF APPROXIMATELY TWO INCHES (2") TO FINISH GRADE OF TURF OR GROUND COVER.
 - TOPSOIL BROUGHT TO THE SITE SHALL BE SANDY LOAM THAT IS NON-TOXIC, WELL-DRAINED, AND FREE OF NOXIOUS WEEDS, GRASS, BRUSH, STICKS, ROCKS GREATER THAN ONE INCH (1") DIAMETER, COARSE GRAVEL, HARD CLAY, AND OTHER DEBRIS UNLESS OTHERWISE NOTED. FINAL GRADE SHALL BE RAKED SMOOTH AND EVEN.
- CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES. IN THE CASE OF A DISCREPANCY, THE ILLUSTRATED LOCATIONS SHALL DICTATE COUNT.
- ALL PLANT MATERIAL SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET FORTH BY ANS 260.1 AMERICAN STANDARD FOR NURSERY STOCK. PLANTS NOT MEETING THESE STANDARDS FOR QUALITY, OR PLANTS DETERMINED TO BE UNHEALTHY OR DAMAGED, WILL BE REJECTED.
- ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED FOR ONE YEAR. LANDSCAPE CONTRACTOR SHALL REPLACE ANY PLANTS WHICH ARE DEAD, EXCEPT THOSE DUE TO WANDALISM OR NEGLECT, WITH PLANT MATERIAL EQUAL TO ORIGINAL.
- ALL PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT, AND SUBSTITUTIONS APPROVED BY POST FALLS COMMUNITY DEVELOPMENT DEPARTMENT AND POST FALLS URBAN FORESTRY.
- COORDINATE PLANTING AND INSPECTION WITH POST FALLS URBAN FORESTRY.
- ALL TREE PLANTING SHALL BE DONE IN ACCORDANCE WITH POST FALLS TREE PLANTING DETAIL AND POST FALLS TREE STANDARDS MANUAL.
- TREES PLANTED ON SITE SHALL BE A MINIMUM OF 1 1/2" CALIPER FOR BRADLEAFS AND 4" HEIGHT FOR CONIFERS.
- ALL EXISTING TREES DESIGNATED TO REMAIN ON SITE DURING CONSTRUCTION MUST BE PROTECTED BY FOLLOWING AMERICAN FORESTRY BEST MANAGEMENT PRACTICES (ANFO 4300 PART 5).
- TREE RINGS SURROUNDING EXISTING TREES SHALL BE RE-ESTABLISHED TO COMPLY WITH POST FALLS TREE PLANTING DETAIL.

LANDSCAPE Approved: [Signature] Date: 12-15-21 (Please Contact City Forester as soon before planting 209.857.3315)

A LANDSCAPE PLAN



UNDERGROUND SERVICE ALERT ONE-CALL NUMBER
811
CALL THE BUSINESS DAYS, BEFORE YOU DIG



Urban Forest Landscape Architects, PLLC
1401 W. Independence Ave. Ste. 100
Post Falls, ID 83854
209.857.3315

2021
Professional Seal
Landscape Architect
No. 12345
State of Idaho



POST FALLS MILL SITE TOWNHOMES 6 ACRE DEVELOPMENT
LANDSCAPE PLAN

REVISION	DATE
1. PERMIT RESPONSE	8/10/21
2. PERMIT REVISION	11/10/21
3. PERMIT REVISION	12/10/21

20-036A
6/10/2021
JCS
MDT

GRADE 1 OF 7
L1.0

CALLOUTS

- 1 EXISTING FENCE TO REMAIN PRESERVE AND PROTECT.

LEGEND

- TURF GRASS 500 WITH 4" OF PLANTING SOIL TYPE B
- PLANTED AREA WITH 4" OF PLANTING SOIL TYPE B AND 2" OF MINERAL MULCH TYPE 1 AND WEED CONTROL FABRIC
- IRON SIZE CIVIL PLANS
- CATCH BASIN SEE CIVIL PLANS
- DRYWELL SEE CIVIL PLANS
- FIRE HYDRANT SEE CIVIL PLANS
- BOLLARD LIGHT SEE ELECTRICAL PLANS
- STREET LIGHT SEE ELECTRICAL PLANS

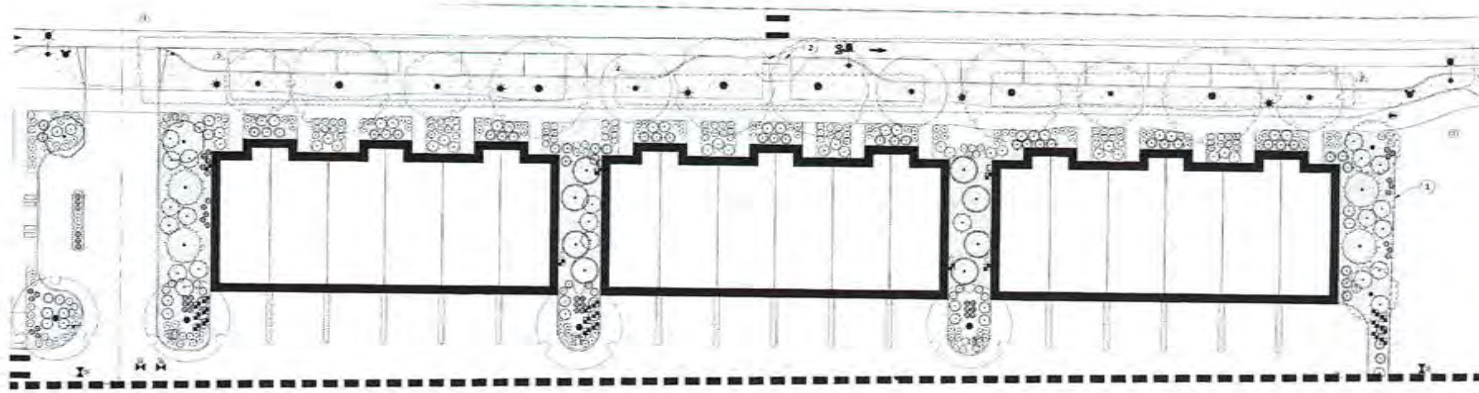
PLANT LEGEND L1.1

TREES	BOTANICAL / COMMON NAME	SIZE	HEIGHT	WIDTH	QTY
1	Acer rubrum "Scarlet Sentinel" / Scarlet Sentinel Maple	2" Cal.	40'	25'	2
2	Acer x freemanii "Jeffers" TM / Autumn Blaze Maple	2" Cal.	50'	25'	2
3	Cornus kousa / Kousa Dogwood	2" Cal.	25'	20'	2
4	Liriodendron tulipifera / Tulip Poplar	2" Cal.	80'	35'	4
5	Liriodendron tulipifera 'TFS-QC TM / Emerald City Tulip Poplar	2" Cal.	50'	25'	4
6	Liriodendron tulipifera 'Arnold' / Arnold Tulip Poplar	2" Cal.	25'	35'	2
7	Pinus flexilis "Vanderwolf" x Pyramidal / Vanderwolf x Pyramidal Pine	3-8" Tall	25'	15'	4
8	Pinus sylvestris "Fastigiate" / Erect Scotch Pine	7-8" Tall	25'	14"	8
9	Tilia tomentosa "Starring" / Starring Silver Linden	2" Cal.	60'	30'	4
SHRUBS	BOTANICAL / COMMON NAME	SIZE	HEIGHT	WIDTH	QTY
10	Buxus x Green Gem / Green Gem Boxwood	2 gal	4'	4"	42
11	Chamaecrista x scottiana "Hot Firestar" / Feather bed Grass	2 gal	6"	2"	45
12	Cornus sericea "Kobold" / Kobold Dogwood	2 gal	2.5'	2.5'	44
13	Geranium x "Razania" TM / Razania Cranebill	2 gal	2.5'	2"	116
14	Helictotrichon sempervirens / Blue Oak Grass	2 gal	3'	3"	12
15	Hemerocallis x "Little Business" / Little Business Daylily	2 gal	2"	2"	76
16	Juniperus x "Buffalo" / Buffalo Juniper	5 gal	1'	8"	22
17	Rhus typhina "Purple Princess" / Flame Grass	2 gal	3'	4"	47
18	Perovskia atriplicifolia "Little Spire" TM / Little Spire Russian Sage	2 gal	2"	4"	24

CITY OF POST FALLS GENERAL LANDSCAPE NOTES: SEE SHEET L1.0 FOR CITY OF POST FALLS STANDARD NOTES.

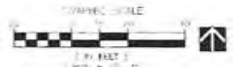
PLANTING NOTES

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- CONTRACTOR SHALL CALL 811 TO LOCATE ALL EXISTING ABOVE OR BELOW GRADE ON-SITE UTILITIES PRIOR TO COMMENCEMENT OF WORK, INCLUDING PLANTING. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL DISCREPANCIES BETWEEN WHAT IS SHOWN AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE. PRESERVE AND PROTECT EXISTING UTILITIES TO REMAIN FROM DAMAGE OR DISRUPTION. TYPICAL MAINTAIN LOCATES DURING CONSTRUCTION FOR REFERENCE. CONTRACTOR SHALL RECORD ALL UTILITY MARKINGS ON A SEPARATE SET OF DRAWINGS. THIS SET SHALL BE KEPT ON-SITE FOR REFERENCE FOR DURATION OF CONTRACT.
- CONTRACTOR TO COORDINATE WITH OWNER'S MAINTENANCE PERSONNEL TO IDENTIFY AND PROTECT ANY EXISTING OWNER MAINTAINED UTILITIES, WATER LINES, IRRIGATION LINES, IRRIGATION CONTROL BIRDS OR OTHER IMPROVEMENTS PRIOR TO CONSTRUCTION.
- THE INFORMATION ON THIS SHEET IS INCOMPLETE UNLESS ACCOMPANIED BY THE CORRESPONDING SPECIFICATION SECTIONS AND DETAILS DEVELOPED FOR THIS PROJECT. REFER TO THOSE SPECIFICATIONS AND DETAILS FOR ADDITIONAL INFORMATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION AND NOTIFYING THE OWNER AND OWNER'S REPRESENTATIVES OF DISCREPANCIES. VERIFY THAT SUB GRADE PREPARATION HAS BEEN COMPLETED TO ACCEPTABLE TOLERANCES PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR ACCEPTS SUB GRADES UPON COMMENCEMENT OF WORK AND IS RESPONSIBLE FOR ANY CORRECTIONS REQUIRED AFTER WORK BEGINS.
- REMOVE ALL CONSTRUCTION DEBRIS, CONCRETE, PORTLAND ROCKS, ETC FROM LANDSCAPE AREAS PRIOR TO SUB GRADE PREPARATION AND INSTALLATION OF PLANTING SOIL.
- TREES AND SHRUBS TO MEET REQUIREMENTS OF AMERICAN STANDARDS FOR NURSERY STOCK FOR SIZE AND MATERIAL CONDITION.
- PLANT COUNTS IN LEGEND ARE FOR REFERENCE ONLY. PLANT SYMBOLS DICTATE THE REQUIRED PLANTS.
- PLANTING SOIL SCHEDULE (SEE SPECIFICATIONS):
 - SOODED LAWN AREA: 4" OF APPROVED PLANTING SOIL TYPE 'B'.
 - PLANTING AREAS: 6" OF APPROVED PLANTING SOIL TYPE 'B'.
- GENERAL MULCH SCHEDULE (SEE SPECIFICATIONS):
 - PLANTING AREAS: 2" OF FIBERGLASS HOLD TYPE 1, 5-8" BASALT CHIP
 - TURF AREAS: SOODED: 2" BELOW ADJACENT WALKS OR HARDSCAPE ELEMENTS BEFORE INSTALLATION OF FIBERGLASS/ORGANIC MULCH.
 - TURF AREAS, SOODED: 2" BELOW ADJACENT WALKS OR HARDSCAPE ELEMENTS.
- ALL LANDSCAPE AREAS TO BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM. SEE IRRIGATION PLANS AND SPECIFICATIONS.
- TREE LOCATIONS MAY VARY DEPENDING ON WALK, DRIVEWAY, AND UTILITY LOCATIONS. STAKE FOR APPROVAL PRIOR TO PLANTING.
- LAYOUT OF HOLECARS AND GOING TO BE MARKED FOR APPROVAL PRIOR TO INSTALLATION.
- DO NOT COMPACT BOTTOMS OF SWALES. PROTECT SWALES FROM CONSTRUCTION TRAFFIC AND DEBRIS. SEE CIVIL PLANS FOR SOILS IN SWALES.
- ALL TREES TO BE SINGLE TRUNKED, UNLESS OTHERWISE NOTED. MULTI-TRUNKED TREES TO INCLUDE MAIN LEADER EQUAL OR GREATER TO SIZE SPECIFIED.
- TREES OF THE SAME SPECIES SHALL BE MATCHED FROM SAME LOT AND GROWER.
- FINISH GRADE TO BE:
 - PLANTING AREAS: 2 1/2" BELOW ADJACENT WALKS OR HARDSCAPE ELEMENTS BEFORE INSTALLATION OF FIBERGLASS/ORGANIC MULCH.
 - TURF AREAS, SOODED: 2" BELOW ADJACENT WALKS OR HARDSCAPE ELEMENTS.



MATCHLINE - SEE SHEET L1.2

A LANDSCAPE PLAN



LANDSCAPE
 Approved: *Robert P. Hill*
 Date: 12-15-21
 Please contact City Forester
 20 hours before planting
 208.457.3316

LANDSCAPE



Underberg Landscape Architecture PLLC
 1000 W. Main Street
 Boise, ID 83725
 208.333.8888

REVISIONS
 1. PERMIT RESPONSE
 2. PERMIT RESPONSE
 3. PERMIT RESPONSE



POST FALLS MILL SITE TOWNHOMES
 6 ACRE DEVELOPMENT
LANDSCAPE PLAN

REVISION	DATE
1. PERMIT RESPONSE	4/1/21
2. PERMIT RESPONSE	11/1/21
3. PERMIT RESPONSE	11/1/21

20-036A
 6/10/2021
 JCS
 MDT

DRAWING 2 OF 7
L1.1

UNDERGROUND SERVICE ALERT
 ONE-CALL NUMBER
 811
 CALL TWO BUSINESS DAYS BEFORE YOU DIG.

CALLOUTS

- 1 EXISTING FENCE TO REMAIN PRESERVE AND PROTECT

LEGEND

- TURF GRASS SOG WITH 4" OF PLANTING SOIL TYPE B.
- PLANTING AREA WITH 8" OF PLANTING SOIL TYPE B AND 2" OF MINERAL MULCH TYPE 1 AND WEED CONTROL FABRIC.
- FENCE, SEE ARCHITECTURAL.
- 8" WIDE CONCRETE MONOLITHS SEE L1.1 DETAIL H.

PLANT LEGEND

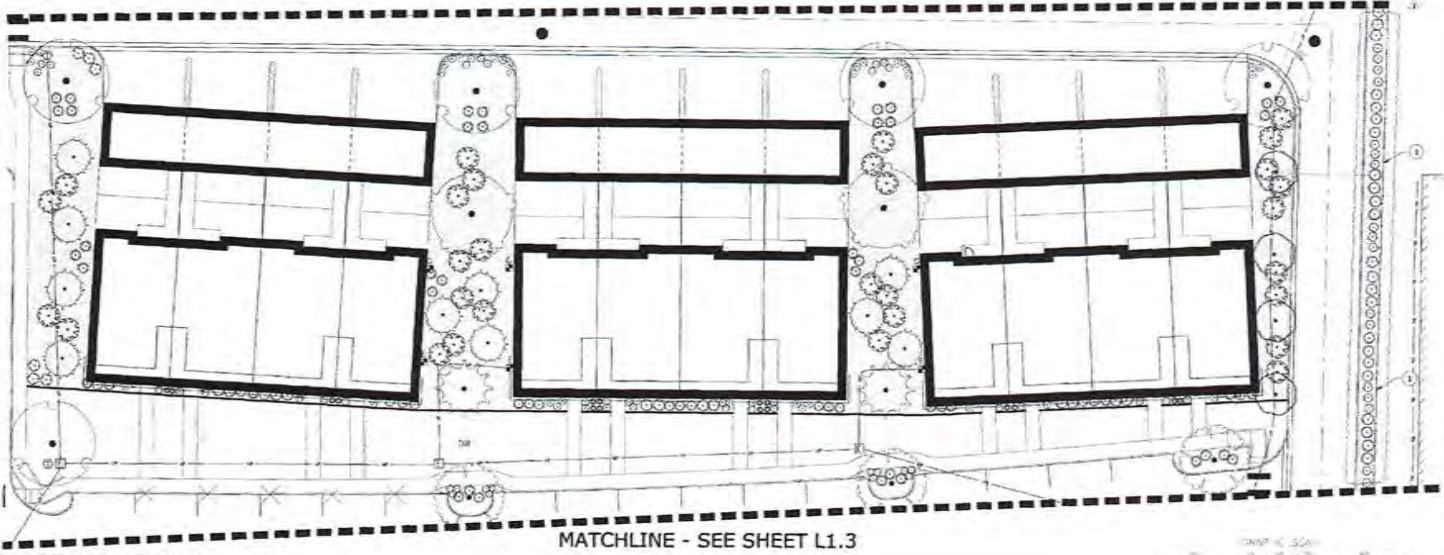
TREES	BOTANICAL / COMMON NAME	SIZE	HEIGHT	WIDTH
	Chamaecyparis obtusa 'Gracilis' / Slender Hoop Cypress	2" Cal.	12'	5'
	Liliodendron tulipifera 'Arnold' / Arnold Tulip Poplar	2" Cal.	25'	15'
	Pinus taeda 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	2" Cal.	25'	15'
	Quercus robur 'Pyramidalis' TM / Strymoncel-English Oak	2" Cal.	50'	25'
	Tilia mongolica 'Harvest Gold' / Harvest Gold Linden	2" Cal.	40'	30'
	Tilia ovata 'Sterling' / Sterling Silver Linden	2" Cal.	60'	30'
SHRUBS	BOTANICAL / COMMON NAME	SIZE	HEIGHT	WIDTH
	Buxus s. 'Green Gem' / Green Gem Boxwood	2 gal.	4"	4"
	Celastrus s. acutiflorus 'Karl Foerster' / Feather Reed Grass	2 gal.	6"	2"
	Cornus sericea 'Kelsay' / Kelsay Dogwood	2 gal.	2.5'	2.5'
	Cotoneaster apiculatus 'Tom Thumb' / Tom Thumb Cranberry Cotoneaster	1 gal.	2'	5"
	Geranium s. 'Rozanne' TM / Rozanne Cranesbill	7 gal.	3.5'	2'
	Hemerocallis s. 'Little Business' / Little Business Daylily	2 gal.	2"	2"
	Ilex cuneata 'Sky Pencil' / Sky Pencil Japanese Holly	2 gal.	8"	3"
	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	5 gal.	1'	8"
	Wacatanthus sinensis 'Little Zebra' / Little Zebra Dwarf Silver Grass	2 gal.	4"	4"
	Yucca filamentosa 'Flame Grass' / Flame Grass	2 gal.	5"	4"
	Panicum virgatum 'Shenandoah' / Switch Grass	2 gal.	4"	3"
	Rosa s. 'Hardy' / Hardy Rose	2 gal.	4"	4"

CITY OF POST FALLS GENERAL LANDSCAPE NOTES: SEE SHEET L1.0 FOR CITY OF POST FALLS STANDARD NOTES.

PLANTING NOTES

- CITY OF POST FALLS GENERAL LANDSCAPE NOTES: SEE SHEET L1.0 FOR CITY OF POST FALLS STANDARD NOTES.
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- REMOVE ALL CONSTRUCTION DEBRIS, CONCRETE, PORTLAND ROCKS, ETC FROM LANDSCAPE AREAS PRIOR TO SUB GRADE PREPARATION AND INSTALLATION OF PLANTING SOIL.
- TREES AND SHRUBS TO MEET REQUIREMENTS OF AMERICAN STANDARD FOR NURSERY STOCK FOR SIZE AND MATERIAL CONDITION.
- PLANT COUNTS IN LEGEND ARE FOR REFERENCE ONLY. PLANT SYMBOLS INDICATE THE REQUIRED PLANTS.
- PLANTING SOIL SCHEDULE (SEE SPECIFICATIONS):
 - a. SODDED LAWN AREAS: 4" OF APPROVED PLANTING SOIL TYPE 'B'.
 - b. PLANTING AREAS: 8" OF APPROVED PLANTING SOIL TYPE 'B'.
- MINERAL MULCH SCHEDULE (SEE SPECIFICATIONS):
 - a. PLANTING AREAS: 2" OF MINERAL MULCH TYPE 1, 5/8" BASALT CHIP.
- ALL LANDSCAPE AREAS TO BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM. SEE IRRIGATION PLANS AND SPECIFICATIONS.
- TREE LOCATIONS MAY VARY DEPENDING ON WALK, DRIVEWAY, AND UTILITY LOCATIONS. STAKE FOR APPROVAL PRIOR TO PLANTING.
- LAYOUT OF MONOLITHS AND SEEDING TO BE MARKED FOR APPROVAL PRIOR TO INSTALLATION.
- DO NOT COMPACT BOTTOMS OF SWALES. PROTECT SWALES FROM CONSTRUCTION TRAFFIC AND DEBRIS. SEE CIVIL PLANS FOR SOALS IN SWALES.
- ALL TREES TO BE SINGLE TRUNKED, UNLESS OTHERWISE NOTED. PULLED TRUNKED TREES TO INCLUDE MAIN LEADER EQUAL OR GREATER TO SIZE SPECIFIED.
- TREES OF THE SAME SPECIES SHALL BE MATCHED FROM SAME LOT AND GROUNDER.
- FINISH GRADES TO BE:
 - a. PLANTING AREAS: 2" BELOW ADJACENT WALKS OR HARDSCAPE ELEMENTS BEFORE INSTALLATION OF MINERAL/ORGANIC MULCH.
 - b. TURF AREAS, SODDED: 2" BELOW ADJACENT EDGES OF HARDSCAPE ELEMENTS.

MATCHLINE - SEE SHEET L1.1



MATCHLINE - SEE SHEET L1.3

A LANDSCAPE PLAN

LANDSCAPE
 Approved: *[Signature]*
 Date: 12-15-21
 Please contact City Forester
 48 hours before planting
 208-457-5315



Post Falls
 Landscape Architecture, PLLC
 1015 Washington Ave
 Post Falls, ID 83854
 (208) 765-5315

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POST FALLS MILL SITE TOWNHOMES
 6 ACRE DEVELOPMENT
 LANDSCAPE PLAN

REVISION	DATE
1. PERMIT RESPONSE	12/15/21
2.	
3.	
4.	

20-036A
 6/10/2021
 JCS
 MDT

UNDERGROUND SERVICE ALERT
 ONE-CALL NUMBER
 811
 CALL 148 BUSINESS DAYS BEFORE YOU DIG.

DRAWING 3 OF 7
L1.2

CALLOUTS

- 1 EXISTING FENCE TO REMAIN, PRESERVE AND PROTECT.
- 2 SOCIAL SPACE/COMMUNITY GARDEN.
- 3 BENCH ON CONCRETE PAD.

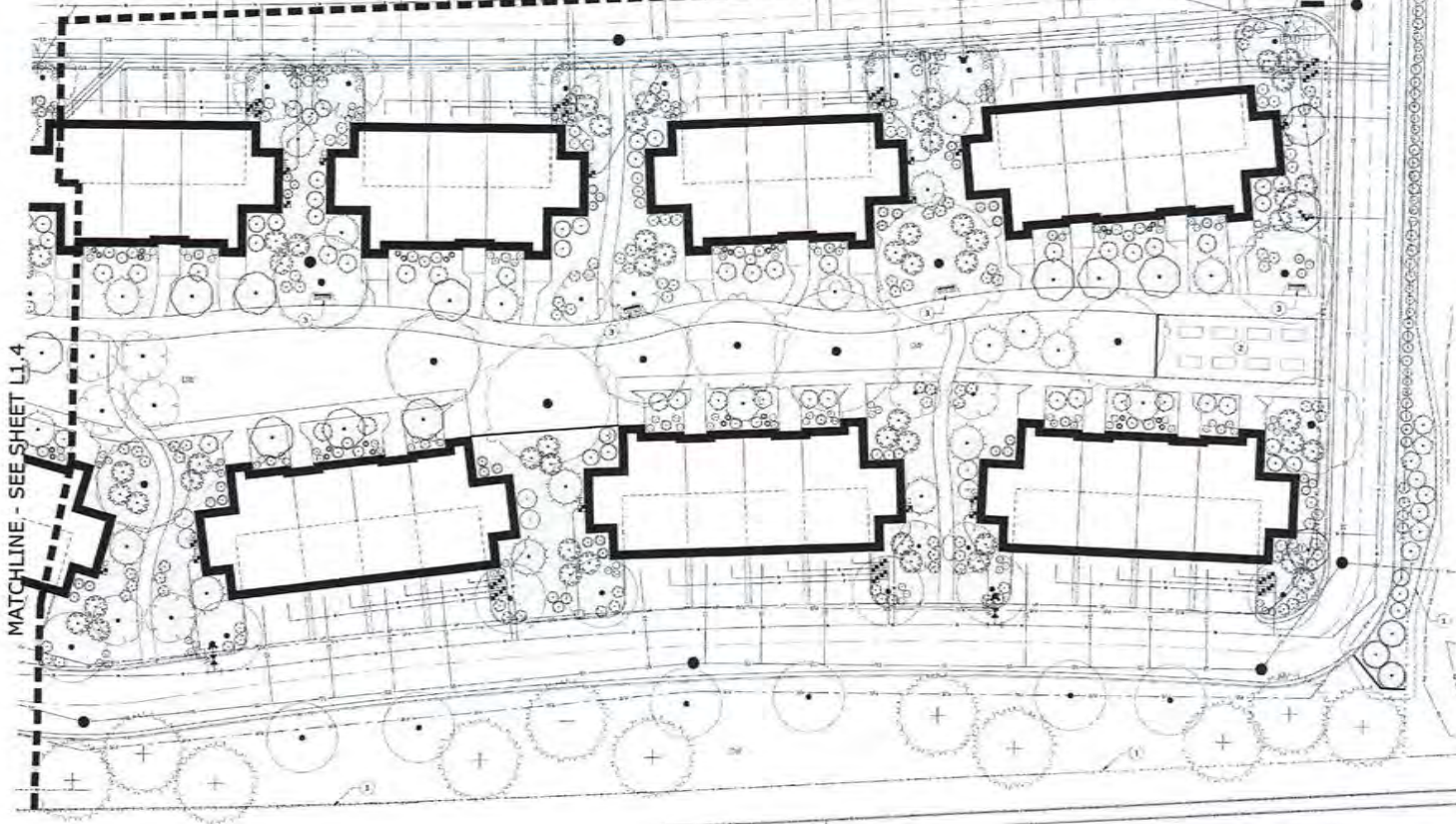
LEGEND

- 1" x 1" GRASS SOG WITH 4" OF PLANTING SOIL TYPE B.
- 1.5" x 1.5" x 1.5" GRASS HYDROSEED SEE CRG. FOR SHALE SOILS.
- PLANTING AREA WITH 4" OF PLANTING SOIL TYPE B AND 2" OF MINERAL MULCH TYPE 1 AND WEED CONTROL FABRIC.
- 4" OF MINERAL MULCH TYPE 1 AND WEED CONTROL FABRIC.
- TALL FENCE, COLOR BLACK.
- 8" W/PC CONCRETE ARCHITECTURE SEE L3.1 DETAIL B.

PLANT LEGEND

TREES	BOTANICAL / COMMON NAME	SIZE	HEIGHT	WIDTH	SHRUBS	BOTANICAL / COMMON NAME	SIZE	HEIGHT	WIDTH	SHRUBS	BOTANICAL / COMMON NAME	SIZE	HEIGHT	WIDTH
	<i>Rhus glabra</i> / Green Gum / Green Gum Shrubland	2 gal	4'	4'		<i>Juniperus horizontalis</i> / Blue Chip / Blue Chip Juniper	5 gal	1'	8'		<i>Hibiscus sinensis</i> / Little Zebra / Little Zebra Dwarf Silver Grass	2 gal	4'	4'
	<i>Chamaecyparis stricta</i> / Gracilis / Slender Hunk Cypress	7-8" Tall	12"	8"		<i>Calanopogon</i> x <i>acutiflorus</i> / Red Heaver / Feather Reed Grass	2 gal	6"	2"		<i>Hibiscus sinensis</i> / Little Zebra / Little Zebra Dwarf Silver Grass	2 gal	4'	4'
	<i>Liliodendron tulipifera</i> / Amud / Amud Tulip Tree	1" Cal	25'	15'		<i>Cornus sericea</i> / Kinnery / Kinnery Dogwood	2 gal	2.5'	2.5'		<i>Hibiscus sinensis</i> / Purpleberry / Flame Grass	2 gal	5'	4'
	<i>Pinus resinosa</i> / White Pine / White Pine	7-8" Tall	23"	15"		<i>Celastrus occidentalis</i> / Tom Thumbs / Tom Thumb Crabapple	1 gal	2'	5"		<i>Panicum virgatum</i> / Shandash / Salsol Grass	2 gal	4'	3'
	<i>Quercus rubra</i> / Pyramidal / Pyramidal / Pyramidal Pine	1" Cal	50'	25'		<i>Ceanothus</i> x <i>laevigatus</i> / Blueberry / Blueberry	2 gal	2.5'	2"		<i>Rosa</i> x <i>helvetica</i> / P.P.A.T. / One Easy Cherry Pie Rose	2 gal	4'	4'
	<i>Tilia americana</i> / Harvest Gold / Harvest Gold Linden	1" Cal	40'	30'		<i>Hemerocallis</i> x <i>lutea</i> / Little Business / Little Business Daylily	2 gal	2'	2"					
	<i>Tilia tomentosa</i> / Starling / Starling Silver Linden	1" Cal	40'	30'		<i>Pinus strobus</i> / Sky Pine / Sky Pine Japanese Holly	2 gal	8'	2"					

MATCHLINE - SEE SHEET L1.2



MATCHLINE - SEE SHEET L1.4

PLANTING NOTES

1. CITY OF POST FALLS GENERAL LANDSCAPE NOTES: SEE SHEET L1.8 FOR CITY OF POST FALLS STANDARD NOTES.
2. CONTRACTOR SHALL CALL 811 TO LOCATE ALL EXISTING ABOVE OR BELOW GRADE ON-SITE UTILITIES PRIOR TO COMMENCEMENT OF WORK, INCLUDING PLANTING. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL OCCURRENCES BETWEEN WHAT IS SHOWN AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE. PRESERVE AND PROTECT EXISTING UTILITIES TO REMAIN FROM DAMAGE OR DISRUPTION. TYPICAL MAINTAIN EXISTING CONSTRUCTION FOR REFERENCE. CONTRACTOR SHALL RECORD ALL UTILITY FINDINGS ON A SEPARATE SET OF DRAWINGS. THIS SET SHALL BE KEPT ON-SITE FOR REFERENCE FOR DURATION OF CONSTRUCTION.
3. CONTRACTOR TO COORDINATE WITH OWNER'S MAINTENANCE PERSONNEL TO IDENTIFY AND PROTECT ANY EXISTING OWNER MAINTAINED UTILITIES, WATER LINES, IRRIGATION LINES, JURISDICTION CONTROL WIRES OR OTHER SERVICES PRIOR TO CONSTRUCTION. THE INFORMATION ON THIS SHEET IS INCOMPLETE UNLESS ACCOMPANIED BY THE CORRESPONDING SPECIFICATION SECTIONS AND DETAILS DEVELOPED FOR THIS PROJECT. REFER TO THOSE SPECIFICATIONS AND DETAILS FOR ADDITIONAL INFORMATION.
4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION AND NOTIFYING THE OWNER AND OWNER'S REPRESENTATIVES OF ANY DISCREPANCIES. VERIFY THAT SOIL GRADE PREPARATION HAS BEEN COMPLETED TO ACCEPTABLE TOLERANCES PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR ACCEPTS SOIL GRADES UPON COMMENCEMENT OF WORK AND IS RESPONSIBLE FOR ANY CORRECTIVE ACTION REQUIRED AFTER WORK BEGINS.
5. REMOVE ALL CONSTRUCTION DEBRIS, CONCRETE, MORTAR, ROCKS, ETC. FROM LANDSCAPE AREAS PRIOR TO SOIL GRADE PREPARATION AND INSTALLATION OF PLANTING SOIL.
6. TREES AND SHRUBS TO MEET REQUIREMENTS OF AMERICAN STANDARD FOR BURNING STOCK FOR SIZE AND PALLETIZATION CONDITION.
7. PLANT COUNTS IN LEGEND ARE FOR REFERENCE ONLY. PLANT SYMBOLS INDICATE THE REQUIRED PLANTS.
8. PLANTING SOIL SCHEDULE (SEE SPECIFICATIONS):
a. SOODED LAWN AREAS: 4" OF APPROVED PLANTING SOIL TYPE "B"
b. PLANTING AREAS: 4" OF APPROVED PLANTING SOIL TYPE "B"
9. MINERAL MULCH SCHEDULE (SEE SPECIFICATIONS):
a. PLANTING AREAS: 2" OF MINERAL MULCH TYPE 1, 5/8" BASALT CHIP
10. ALL LANDSCAPE AREAS TO BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM. SEE IRRIGATION PLAN AND SPECIFICATIONS.
11. TREE LOCATIONS MAY VARY DEPENDENT ON WALK, DRIVEWAY, AND UTILITY LOCATIONS. STAKE FOR APPROVAL PRIOR TO PLANTING.
12. LAYOUT OF WALKWAYS AND BENCHING TO BE MARKED FOR APPROVAL PRIOR TO INSTALLATION.
13. DO NOT COMPACT BOTTOMS OF SHALES, PROTECT SHALES FROM CONSTRUCTION TRAFFIC AND DEBRIS. SEE CIVIL PLANS FOR SOILS IN SHALES.
14. ALL TREES TO BE SINGLE TRUNKED, UNLESS OTHERWISE NOTED. MULTI-TRUNKED TREES TO INCLUDE MAIN LEADER EQUAL OR GREATER TO SIZE SPECIFIED.
15. TREES OF THE SAME SPECIES SHALL BE MATCHED FROM SAME LOT AND GROWN.
16. FINISH GRADE TO BE:
a. PLANTING AREAS: 2" TO 3" BELOW ADJACENT WALKS OR HARDSCAPE ELEMENTS BEING INSTALLED OR EVALUATION OF MINERAL/Organic MULCH.
b. TURF AREAS: SOODED: 2" BELOW ADJACENT WALKS OR HARDSCAPE ELEMENTS.

CITY OF POST FALLS GENERAL LANDSCAPE NOTES: SEE SHEET L1.8 FOR CITY OF POST FALLS STANDARD NOTES.

LANDSCAPE
Approved: *R.L.P.A.*
Date: 12-15-21
To be contact City Forester
208-457-3315

A LANDSCAPE PLAN



Maple Valley
Landscape Architecture, P.L.L.C.
100 N. Washington
Suite 100
Post Falls, ID 83854

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POST FALLS MILL SITE TOWNHOMES
6 ACRE DEVELOPMENT
LANDSCAPE PLAN

REVISION	DATE
1.	
2.	
3.	
4.	

20-036A
6/10/2021
JCS
MDT

Drawn: 4 of 2

L1.3

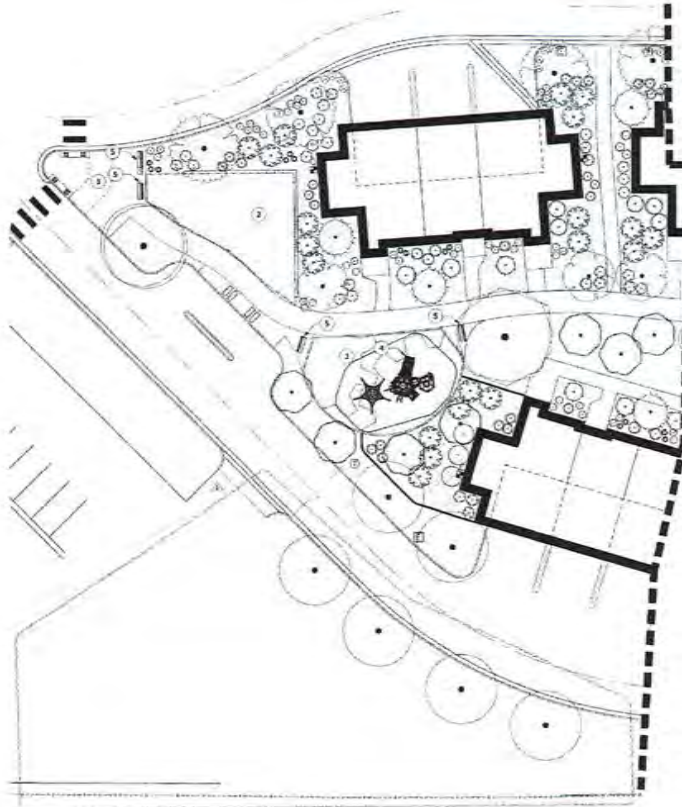
UNDERGROUND SERVICE ALERT
ONE-CALL NUMBER
811
CALL TWO BUSINESS DAYS BEFORE YOU DIG

CALLOUTS

- 1 PLAZA
- 2 DOG PARK
- 3 PLAYGROUND WITH SAFETY SURFACING
- 4 PLAY EQUIPMENT
- 5 BENCH

LEGEND

- TURF GRASS SOIL WITH #1 OF PLANTING SOIL TYPE B
- LOW MAINTENANCE GRASS HYDROSEED SEE CIVIL FOR SHALE SOILS
- PLANTING AREA WITH #1 OF PLANTING SOIL TYPE B AND 2" OF MINERAL MULCH TYPE 1 AND NEED CORTICAL FABRIC
- PLAYGROUND SAFETY SURFACING
- 4" TALL FENCE, COLOR BLACK
- 6" WIDE CONCRETE HOWLERS - SEE L1.3 DETAIL H



MATCHLINE - SEE SHEET L1.3

PLANT LEGEND

TREES	BOTANICAL / COMMON NAME	SIZE	HEIGHT	WIDTH
	<i>Acer rubrum</i> 'Scarlet Selectum' / Scarlet Selectum Maple	2" Cal.	40'	25'
	<i>Fragaria americana</i> 'Autumn Applause' / White Ash	2" Cal.	40'	25'
	<i>Ulmus americana</i> 'Amstel' / Amstel Tulip Poplar	2" Cal.	25'	15'
	<i>Pinus strobus</i> 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	1-8" Tall	25'	15'
	<i>Prunus serotina</i> 'Columbiana' / Columbian Sargent Cherry	2" Cal.	35'	15'
	<i>Quercus rubra</i> 'Pyramidalis' TM / Spikesider English Oak	2" Cal.	50'	25'
	<i>Styphnolobium japonicum</i> 'HABA' TM / Hibiscus Japanese Pagoda Tree	2" Cal.	50'	35'
SHRUBS	BOTANICAL / COMMON NAME	SIZE	HEIGHT	WIDTH
	<i>Rosa</i> s. 'Green Gem' / Green Gem Blended	2 gal	4'	4'
	<i>Colonnatastris x scutellaria</i> 'Karl Foerster' / Feather Reed Grass	2 gal	6'	2'
	<i>Cornus sericea</i> 'Riverside' / River Dogwood	2 gal	2.5'	2.5'
	<i>Cornus alternifolia</i> 'Variegata' / Arctic Fire Dogwood	2 gal	4'	4'
	<i>Cobococarpus japonicus</i> 'Tom Thumbs' / Tom Thumbs Cranberry Cranecreeper	1 gal	2'	5"
	<i>Geranium</i> s. 'Rococo' TM / Rococo Geranium	2 gal	2.5'	2'
	<i>Hemerocallis</i> s. 'Little Business' / Little Business Daylily	2 gal	2'	2'
	<i>Juniperus horizontalis</i> 'Blue Chip' / Blue Chip Juniper	3 gal	1'	8"
	<i>Juniperus sibirica</i> 'Sulcata' / Sulcata Juniper	5 gal	1'	8"
	<i>Panicum shenans</i> 'Panicum' / Flame Grass	2 gal	5'	4'
	<i>Penstemon strictus</i> 'Little Spire' TM / Little Spire Russian Sage	2 gal	2'	4"
	<i>Physocarpus opulifolius</i> 'Summer Wine' / Summer Wine Noddy	2 gal	4'	6"
	<i>Rhus typhina</i> 'Compacta' / Dwarf Hops Cone	3 gal	3'	5"
	<i>Rhus aromatica</i> 'Gro-Low' / Gro-Low Fragrant Sumac	2 gal	3'	8"
	<i>Rosa</i> s. 'Helenae' P.P.A.F. / One Easy Cherry Pie Rose	2 gal	4'	4"

CITY OF POST FALLS GENERAL LANDSCAPE NOTES: SEE SHEET L1.3 FOR CITY OF POST FALLS STANDARD NOTES.

PLANTING NOTES

1. CITY OF POST FALLS GENERAL LANDSCAPE NOTES: SEE SHEET L1.3 FOR CITY OF POST FALLS STANDARD NOTES.
2. CONTRACTOR SHALL CALL 811 TO LOCATE ALL EXISTING ABOVE OR BELOW GRADE ON-SITE UTILITIES PRIOR TO COMMENCEMENT OF WORK, INCLUDING PLANTING. THE LOCATION OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL DISCREPANCIES BETWEEN WHAT IS SHOWN AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY AND PROTECT EXISTING UTILITIES TO REMAIN FROM DAMAGE OR DISRUPTION. TYPICAL "HOLD-AND-PROTECT" DETAILS DURING CONSTRUCTION FOR REFERENCE. CONTRACTOR SHALL RECORD ALL UTILITY MARKINGS ON A SEPARATE SET OF DRAWINGS. THIS SET SHALL BE KEPT ON-SITE FOR REFERENCE FOR DURATION OF CONTRACT.
3. CONTRACTOR TO COORDINATE WITH OWNER'S MAINTENANCE PERSONNEL TO IDENTIFY AND PROTECT ANY EXISTING OWNER MAINTAINED UTILITIES, WATER LINES, IRRIGATION LINES, IRRIGATION CONTROLS, WEIRS OR OTHER IMPROVEMENTS PRIOR TO CONSTRUCTION.
4. THE INFORMATION ON THIS SHEET IS INCOMPLETE UNLESS ACCOMPANIED BY THE CORRESPONDING SPECIFICATION SECTIONS AND DETAILS DERIVED FOR THIS PROJECT. REFER TO THOSE SPECIFICATIONS AND DETAILS FOR ADDITIONAL INFORMATION.
5. CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION AND NOTIFYING THE OWNER AND OWNER REPRESENTATIVES OF DISCREPANCIES. VERIFY THAT SUB GRADE PREPARATION HAS BEEN COMPLETED TO ACCEPTABLE TOLERANCES PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR ACCEPTS SUB GRADES UPON COMMENCEMENT OF WORK AND IS RESPONSIBLE FOR ANY CORRECTIONS REQUIRED AFTER WORK BEGINS.
6. REMOVE ALL CONSTRUCTION DEBRIS, CONCRETE, MORTAR, ROCKS, ETC FROM LANDSCAPE AREAS PRIOR TO SUB GRADE PREPARATION AND INSTALLATION OF PLANTING SOIL.
7. TREES AND SHRUBS TO MEET REQUIREMENTS OF AMERICAN STANDARD FOR NURSERY STOCK FOR SIZE AND MATERIAL CONDITION.
8. PLANT COUNTS IN LEGEND ARE FOR REFERENCE ONLY. PLANT SYMBOLS DICTATE THE REQUIRED PLANTS.
9. PLANTING SOIL SCHEDULE (SEE SPECIFICATIONS):
 - a. SOODED LAWN AREAS: 4" OF APPROVED PLANTING SOIL TYPE "E".
 - b. PLANTING AREAS: 8" OF APPROVED PLANTING SOIL TYPE "E".
 - 10. MINERAL MULCH SCHEDULE (SEE SPECIFICATIONS):
 - a. PLANTING AREAS: 2" OF MINERAL MULCH TYPE 1, 50# BASALT CHIP
 - 11. ALL LANDSCAPE AREAS TO BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM. SEE IRRIGATION PLANS AND SPECIFICATIONS.
 - 12. TREE LOCATIONS MAY VARY DEPENDING ON WALK, DRIVEWAY, AND UTILITY LOCATIONS. STAKE FOR APPROVAL PRIOR TO PLANTING.
 - 13. LAYOUT OF HOWLERS AND EDGING TO BE PAVED FOR APPROVAL PRIOR TO INSTALLATION.
 - 14. DO NOT COMPACT BOTTOMS OF SHOALS. PROTECT SHOALS FROM CONSTRUCTION TRAFFIC AND DEBRIS. SEE CIVIL PLANS FOR SOILS OR SHOALS.
 - 15. ALL TREES TO BE SINGLE TRUNKED, UNLESS OTHERWISE NOTED. MULTI-TRUNKED TREES TO INCLUDE MAIN LEADER EQUAL OR GREATER TO SOLE SPECIFIED.
 - 16. TREES OF THE SAME SPECIES SHALL BE MATCHED FROM SAME LOT AND GROWER.
 - 17. FINISH GRADE TO BE:
 - a. PLANTING AREAS: 2 (1/2)" BELOW ADJACENT WALKS OR HANDSCAPE ELEMENTS BEFORE INSTALLATION OF MINERAL/ORGANIC MULCH.
 - b. TURF AREAS, SOODED: 2" BELOW ADJACENT WALKS OR HANDSCAPE ELEMENTS.

LANDSCAPE
 Approved: *R.A.P. 7/11*
 Date: 12-15-21
 Please contact City Planner
 21 times before planting
 208.457.3315



Richard Evers
 Landscape Architect, PLLC
 4000 Highway 20
 Post Falls, ID 83854
 208.457.3315

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 Landscape Architect, PLLC
 4000 Highway 20
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 208.457.3315



POST FALLS MILL SITE TOWNHOMES
 6 ACRE DEVELOPMENT
 LANDSCAPE PLAN

REVISION	DATE
1. PERMIT RESPONSE	5/10/21
2.	
3.	
4.	

20-036A
 6/10/2021
 JCS
 MDT

FIGURE 1 OF 7
L1.4

UNDERGROUND SERVICE ALERT
 ONE-CALL NUMBER
811
 CALL TWO BUSINESS DAYS BEFORE YOU DIG

A LANDSCAPE PLAN



CALLOUTS

- ① EXISTING FENCE TO REMAIN, PRESERVE AND PROTECT.
- ② REMOVABLE BOLLARD SEE L3.1, DETAIL I
- ③ SOCIAL SPACE/COMMUNITY GARDEN.
- ④ BENCH ON CONCRETE PAD.
- ⑤ PLAZA.
- ⑥ BODI PARK.
- ⑦ PLAYGROUND WITH POURED-IN-PLACE SAFETY SURFACING.
- ⑧ PLAY EQUIPMENT.

IRRIGATION CALLOUTS

- L1 IRRIGATION 2" DDVA SEE SHEET L-2, DETAIL K.

LEGEND

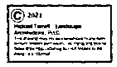
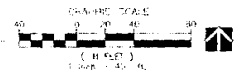
- TURF GRASS BOD WITH AUTOMATIC OVERHEAD IRRIGATION 2" OF PLANTING SOIL TYPE 'B'
- LOW MAINTENANCE GRASS HYDRDREGG WITH AUTOMATIC OVERHEAD IRRIGATION
- PLANTER AREA WITH 2" OF MINERAL MICH TYPE 'A' AND 6" OF PLANTING SOIL TYPE 'B' BUBBLER IRRIGATION 1 BUBBLER PER SHRUB/GRASS AND 2 BUBBLERS PER TREE.
- IRRIGATION POC - SERVICE AND METER, SEE CIVIL PLANS
- 4" IRRIGATION SLEEVE OR AS DETERMINED BY SLEEVE SCHEDULE

IRRIGATION NOTES

1. CONTRACTOR SHALL CALL 811 TO LOCATE ALL EXISTING ABOVE OR BELOW GRADE ON-SITE UTILITIES PRIOR TO COMMENCEMENT OF WORK, INCLUDING PLANTING. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL DISCREPANCIES BETWEEN WHAT IS SHOWN AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE. PRESERVE AND PROTECT EXISTING UTILITIES TO REMAIN FROM DAMAGE OR DISRUPTION. MAINTAIN LOCATES DURING CONSTRUCTION FOR REFERENCE. CONTRACTOR SHALL RECORD ALL UTILITY MARKINGS ON A SEPARATE SET OF DRAWINGS. THIS SET SHALL BE KEPT ON-SITE FOR REFERENCE FOR DURATION OF CONTRACT.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION AND NOTIFYING THE OWNER AND OWNER'S REPRESENTATIVES OF DISCREPANCIES. VERIFY THAT SUB GRADE PREPARATION HAS BEEN COMPLETED TO ACCEPTABLE TOLERANCES PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR ACCEPTS SUB GRADES UPON COMMENCEMENT OF WORK AND IS RESPONSIBLE FOR ANY CORRECTIONS REQUIRED AFTER WORK BEGINS.
3. IRRIGATION EQUIPMENT SHALL ALWAYS BE LOCATED WITHIN LANDSCAPE AREAS UNLESS SPECIFICALLY NOTED. LOCATE VALVE BOXES NEXT TO CURBS, PAVED SURFACES, OR IN PLANTING BEDS WHERE POSSIBLE. VALVES AND VALVE BOXES SHALL NOT BE LOCATED IN THE PATHS OF STAMPS OR AT SHADE INLETS.
4. IRRIGATION CONTROLLER: SUPPLY CONTROLLER AS SPECIFIED AND LOCATE AS SHOWN ON PLANS AND DETAILS. COORDINATE LOCATION AND INSTALLATION OF CONTROLLER(S) WITH GENERAL CONTRACTOR FOR ELECTRICAL SERVICE AND SWEEP THROUGH FOUNDATIONS AS NECESSARY. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL CODES AND ORDINANCES INCLUDING BUILDING/ELECTRICAL PERMIT REQUIREMENTS.
5. IRRIGATION SYSTEM BASIS OF DESIGN:
 - a. STATIC PRESSURE: FIELD VERIFY PSI AT THE SOURCE.
 - b. SOURCE: CITY OF POST FALLS.
 - c. CONTRACTOR TO VERIFY WORKING PSI AT MINIMUM OPERATING FLOW PRIOR TO CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT OF ANY DEFICIENCIES PRIOR TO COMMENCEMENT OF WORK.
7. SLEEVE SCHEDULE:
 - a. ALL MAIN LINE PIPING AND CONTROL WIRES UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES UNDER HAND SURFACES.
 - b. PIPES SIZED TO 2.5"; 4" SCHEDULE 40 PVC SLEEVE.
 - c. PIPES TO 3"-4"; 6" SCHEDULE 40 PVC SLEEVE.
 - d. PIPES GREATER THAN 4"; 8" SCHEDULE 40 PVC SLEEVE.
 - e. CONTROL WIRES: 2" MIN. SCHEDULE 40 PVC SLEEVE.
8. CONTRACTOR TO INSTALL THRUST BLOCKING AT MAINLINE CHANGES OF DIRECTION FOR ALL MAINLINE PIPING 3" AND LARGER.
9. PRESSURE TESTING: PRESSURE TESTING IS REQUIRED FOR ALL MAINLINE AND LATERAL LINES. SEE SPECIFICATIONS FOR REQUIREMENTS.
10. INSTALL ALL VALVE BOXES PERPENDICULAR TO ADJACENT FENCES, WALKS, AND BUILDINGS. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
11. THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVER SPRAY ONTO WALKS, STREETS, WALLS, ETC. CONTRACTOR SHALL MAKE WORK ADJUSTMENTS TO HEAD LOCATIONS IN FIELD AS NECESSARY TO ENSURE HEAD TO HEAD COVERAGE WITH NO OVERSPRAY ON TO PAVED SURFACES. SOME NOTED ZONES ARE DESIGNED WITH GREATER THAN HEAD TO HEAD COVERAGE TO COMPENSATE FOR WIND ADJUST AS NECESSARY FOR COVERAGE.
12. ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS IN ACCORDANCE WITH LOCAL CODES.
13. INSTALL OWNER APPROVED IRRIGATION CONTROLLER AS PER MANUFACTURER'S SPECIFICATIONS IN LOCATION AS APPROVED BY OWNER'S REPRESENTATIVE.
14. LOSE AN ELECTRICAL POWER SOURCE AT CONTROLLER LOCATIONS SHALL BE PROVIDED. SEE ELECTRICAL PLANS. FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLER AND INCLUDE ALL PERMITS SHALL BE IN ACCORDANCE WITH LOCAL CODES.
15. IRRIGATION POC: INSTALL ALL BACK-FLOW PREVENTION DEVICES AND ALL PIPING BETWEEN THE POINT OF CONNECTION AND THE BACK-FLOW PREVENTION DEVICES AS REQUIRED BY LOCAL CODES. CONTRACTOR TO COMPLETE REQUIRED TESTING AND SUPPLY SATISFACTORY TEST RESULTS WITH OPERATIONS AND MAINTENANCE MANUALS.



A IRRIGATION PLAN

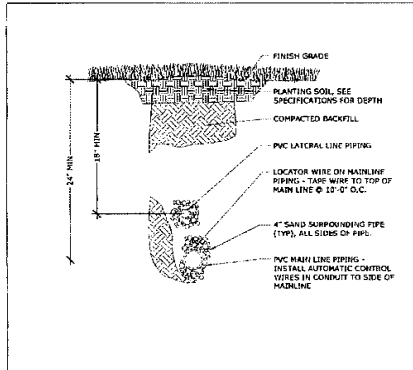


POST FALLS MILL SITE TOWNHOMES
 6 ACRE DEVELOPMENT
IRRIGATION PLAN

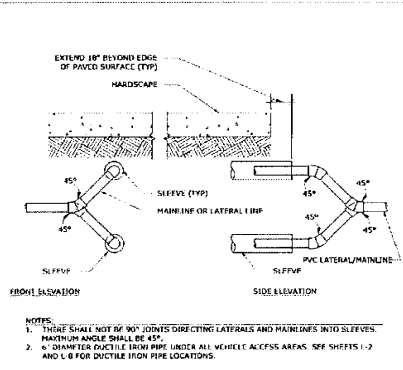
REVISION	DATE
1. PERMIT RESPONSE	8/27/21
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PROJECT NO.	20-036A
DATE	6/10/2021
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CHECKER	MDT

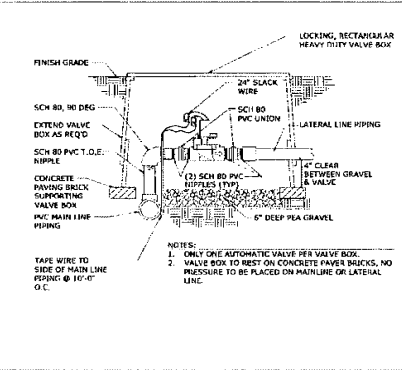
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L2.1



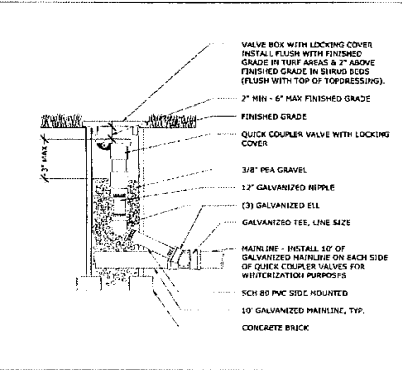
A IRRIGATION TRENCHING SCALE = NTS



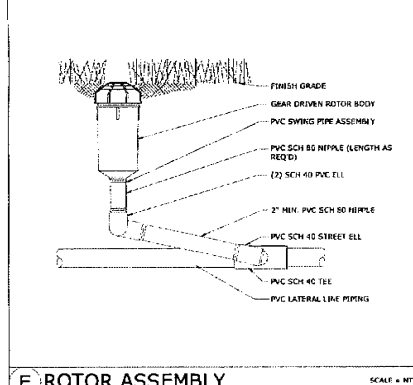
B SLEEVING UNDER HARDSCAPE SCALE = NTS



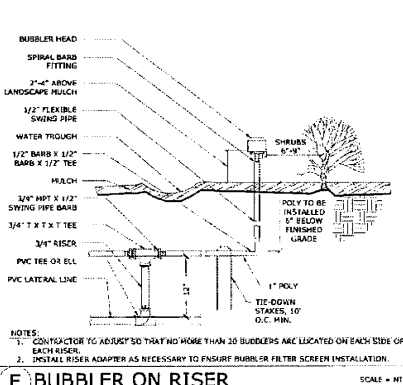
C CONTROL VALVE INSTALLATION SCALE = NTS



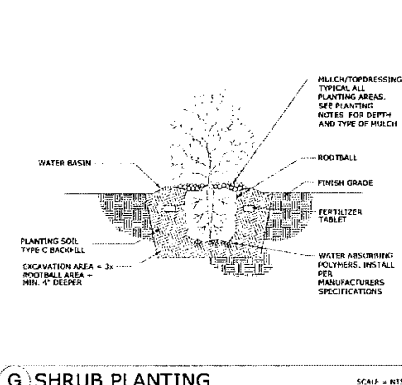
D QUICK COUPLER VALVE IN BOX SCALE = NTS



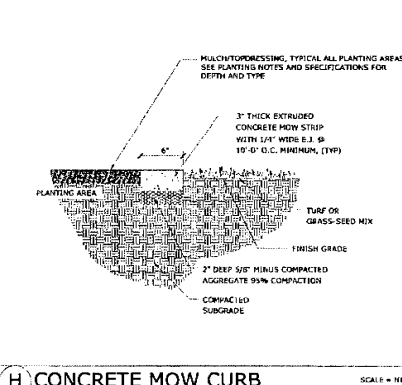
E ROTOR ASSEMBLY SCALE = NTS



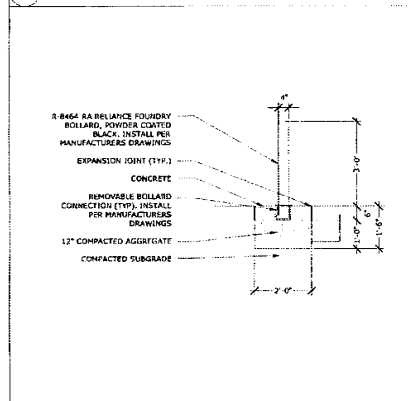
F BUBBLER ON RISER SCALE = NTS



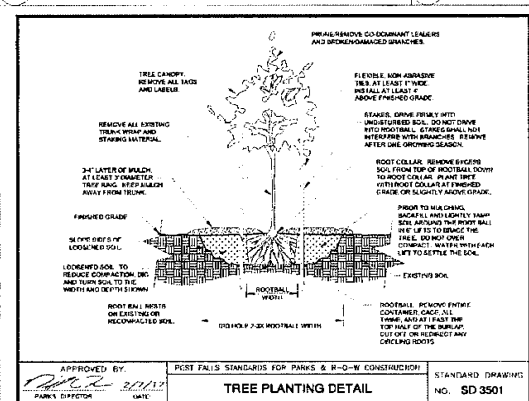
G SHRUB PLANTING SCALE = NTS



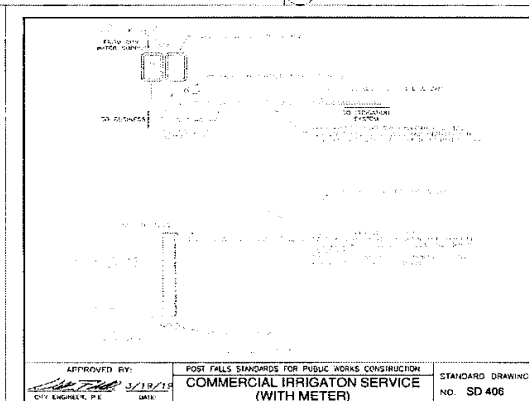
H CONCRETE MOW CURB SCALE = NTS



I REMOVABLE BOLLARD SCALE = NTS



J TREE PLANTING DETAIL SCALE = NTS

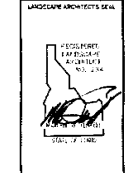


K DCVA DETAIL SCALE = NTS



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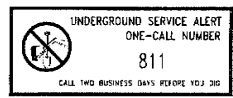


POST FALLS MILL SITE TOWNHOMES
6 ACRE DEVELOPMENT

LANDSCAPE DETAILS

REVISION	DATE
1	5/19/21
2	
3	

PROJECT NO. 20-036
DATE 6/10/2021
DESIGNER JCS
CHECKER MDT



DRAWING 7 OF 7
L3.1

4TH AVE.

CITY OF POST FALLS GENERAL LANDSCAPE NOTES

ALL CONTRACTOR WORK SHALL BE IN ACCORDANCE WITH IDAHO STANDARD PUBLIC WORKS CONSTRUCTION, IDAHO STATE CODE, AND POST FALLS MUNICIPAL CODE.

SEE CIVIL PLANS FOR GRADING AND DRAINAGE INFORMATION. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO DIGGING. ANY DAMAGE TO EXISTING UTILITIES ON SITE OR ADJACENT PROPERTY SHALL BE CONTRACTOR'S RESPONSIBILITY.

CONTRACTOR RESPONSIBLE FOR ALL REQUIRED PERMITS AND CODES.

LANDSCAPING SHALL BE COMPLETED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY. IF LANDSCAPING CANNOT BE COMPLETED PRIOR TO OCCUPANCY DUE TO WEATHER OR OTHER ESTIMATING CIRCUMSTANCES, FINANCIAL GUARANTEES SHALL BE PROVIDED.

CONTRACTOR IS RESPONSIBLE FOR CHECKING ANY QUESTIONABLE NOTES, PLANT NAMES, SIZES, AND QUANTITIES. IN THE EVENT OF DISCREPANCY OR SITE FACTORS AFFECTING INSTALLATION AS PER PLAN, NOTIFY THE LANDSCAPE ARCHITECT.

PROVIDE A FULLY IRRIGATED UNDERGROUND SPRINKLER SYSTEM FOR ALL LANDSCAPED AND SWALE AREAS. SYSTEM SHALL HAVE BACKFLOW PREVENTER. A SEPARATE WATER METER FOR IRRIGATION SHOULD BE INSTALLED SO THAT IRRIGATION WATER CAN BE SUBTRACTED FOR SEWER BILLING PURPOSES.

IRRIGATION FOR ALL RIGHT-OF-WAY LANDSCAPING SHALL BE THE RESPONSIBILITY OF ADJACENT PROPERTY OWNER(S).

NO PLANTING SHALL BE DONE UNTIL INSTALLATION OF THE IRRIGATION SYSTEM IS COMPLETED. FINAL GRADES HAVE BEEN ESTABLISHED, AND PLANTING AREAS HAVE BEEN PROPERLY GRADED AND PREPARED.

GROUND PREPARATION - PROPER GROUND PREPARATION AND INSTALLATION IS REQUIRED FOR AN APPROVED LANDSCAPE. THE FOLLOWING SPECIFICATIONS SHALL BE THE MINIMUM: SOIL IN PLANTING AREAS SHALL HAVE ADEQUATE POROSITY TO ALLOW FOR ROOT GROWTH. SOILS THAT HAVE BEEN COMPACTED SHALL BE LOOSENED TO INCREASE AERATION TO A MINIMUM DEPTH OF EIGHTEEN INCHES (18") OR REPLACED WITH IMPOSED TOPSOIL.

TOPSOIL THAT IS REASONABLY FREE FROM STONES SHALL BE PLACED IN ALL PLANTING BEDS. SUBSOIL SHALL NOT BE USED AS A PLANTING MEDIUM. PLANTING AREAS MUST BE FILLED TO THE TOP OF ALL CURBS OR EDGES OF A PLANTING BED, ALLOWING FOR SETTLING OF APPROXIMATELY TWO INCHES (2") TO FINISH GRADE OF TURF OR GRASSING COVER.

TURF BROUGHT TO THE SITE SHALL BE SANDY LOAM THAT IS NON-TOXIC, WELL-DRAINED, AND FREE OF NOXIOUS WEEDS, GRASS, SHAKE, STICKS, ROCKS GREATER THAN ONE INCH (1") DIAMETER, COARSE GRAVEL, HARD CLAY, AND OTHER DEBRIS UNLESS OTHERWISE NOTED. FINAL GRADE SHALL BE BAIRED SMOOTH AND EVEN.

CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES. IN THE CASE OF A DISCREPANCY, THE ILLUSTRATED LOCATIONS SHALL DICTATE COUNT.

ALL PLANT MATERIAL SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET FORTH BY ANSI Z60.1, AMERICAN STANDARD FOR NURSERY STOCK. PLANTS NOT MEETING THESE STANDARDS FOR QUALITY, OR PLANTS DETERMINED TO BE SUBPARITY OR DAMAGED, WILL BE REJECTED.

ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED FOR ONE YEAR. LANDSCAPE CONTRACTOR SHALL REPLACE ANY PLANTS WHICH ARE DEAD, EXCEPT THOSE DUE TO VANDALISM OR NEGLECT, WITH PLANT MATERIAL EQUAL TO ORIGINAL.

ALL PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT, AND SUBSTITUTIONS APPROVED BY POST FALLS COMMUNITY DEVELOPMENT DEPARTMENT AND POST FALLS URBAN FORESTER.

COORDINATE PLANTING AND INSPECTION WITH POST FALLS URBAN FORESTER.

ALL TREE PLANTING SHALL BE DONE IN ACCORDANCE WITH POST FALLS TREE PLANTING DETAIL AND POST FALLS TREE STANDARDS MANUAL.

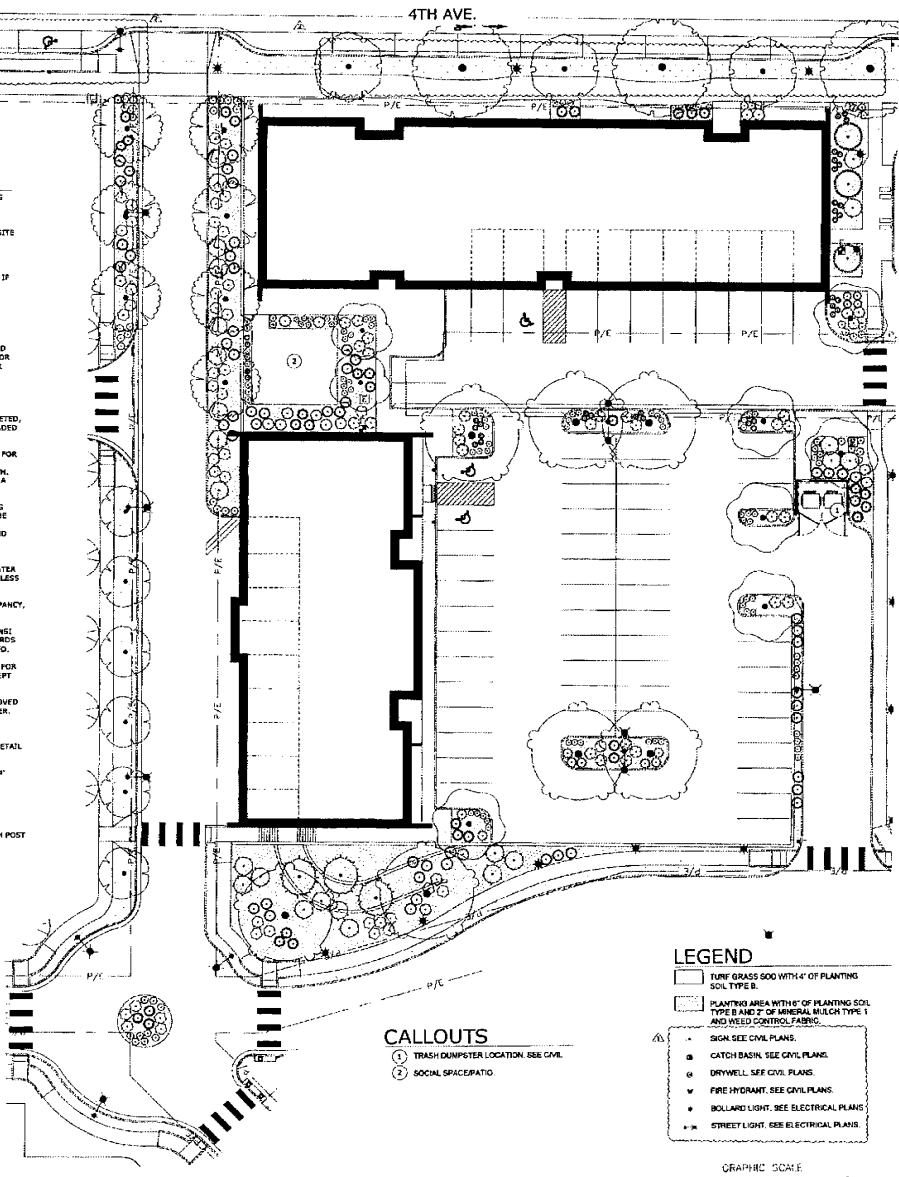
TREES PLANTED ON SITE SHALL BE A MINIMUM OF 1 1/2" CALIPER FOR BROADLEAFS AND 4" HEIGHT FOR CONIFERS.

ALL EXISTING TREES DESIGNATED TO REMAIN ON SITE DURING CONSTRUCTION MUST BE PROTECTED BY FOLLOWING ARBOCULTURE INDUSTRY BEST MANAGEMENT PRACTICES (ANSI Z300 PART 5).

TREE RINGS SURROUNDING EXISTING TREES SHALL BE RE-ESTABLISHED TO COMPLY WITH POST FALLS TREE PLANTING DETAIL.

LANDSCAPE STANDARDS PER CITY OF POST FALLS CITY CODE 18.24.080

PARKING AREA SQ. FT.	NUMBER AND TREE CLASS	TOTAL SQ. FT. ACCOUNTING FOR
24,085 SQ. FT.	FIVE (5) CLASS III TREES	15,000 SQ. FT.
	FIVE (5) CLASS II TREES	10,000 SQ. FT.
	TWO (2) CLASS I TREES	1,000 SQ. FT.
	TOTAL	26,000 SQ. FT.
PRIVATE ROADS AND ACCESS	EIGHT (8) CLASS III TREES	12,000 SQ. FT.
	SIX (6) CLASS II TREES	6,000 SQ. FT.
	TOTAL	18,000 SQ. FT.



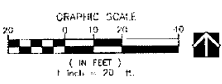
A LANDSCAPE PLAN

CALLOUTS

- 1 TRASH DUMPSTER LOCATION. SEE CIVIL.
- 2 SOCIAL SPACE PATIO.

LEGEND

- TURF GRASS SOO WITH 4" OF PLANTING SOIL TYPE B.
- PLANTING AREA WITH 4" OF PLANTING SOIL TYPE B AND 2" OF MINERAL MULCH TYPE I AND NEED CONTROL FABRIC.
- SIGN SEE CIVIL PLANS.
- CATCH BASIN. SEE CIVIL PLANS.
- DRYWELL. SEE CIVIL PLANS.
- FIRE HYDRANT. SEE CIVIL PLANS.
- BOLLARD LIGHT. SEE ELECTRICAL PLANS.
- STREET LIGHT. SEE ELECTRICAL PLANS.



PLANT LEGEND

TREES	BOTANICAL / COMMON NAME	SIZE	HEIGHT	WIDTH	QTY
●	Acer rubrum 'Scarlet Sentinel' / Scarlet Sentinel Maple	2" Cal.	40'	25'	1
●	Acer spicatum 'Commemoration' / Commemoration Sugar Maple	2" Cal.	50'	35'	7
●	Acer x freemanii 'Jeffrey' TM / Autumn Blaze Maple	2" Cal.	50'	35'	1
●	Liriodendron tulipifera / Tulip Poplar	2" Cal.	80'	35'	3
●	Liriodendron tulipifera 'ITS-02' TM / Emerald City Tulip Poplar	2" Cal.	50'	25'	3
●	Malus x 'Spring Snow' / Spring Snow Crab Apple	2" Cal.	25'	20'	2
●	Nyssa sylvatica / Black Tupelo	2" Cal.	40'	20'	6
●	Pinus fastigiata 'Vanderwolf's Pyramid' / Vanderwolf's Pyramed Pine	7-8" TB	25'	15'	3
●	Pinus sylvestris 'Fastigiate' / Brist Scotch Pine	7-8" TB	25'	10'	3
●	Prunus sargentii 'Columbian' / Columbian Sargent Cherry	2" Cal.	35'	15'	6
●	Quercus robur 'Pyramidal' TM / Bismarck English Oak	2" Cal.	50'	25'	7

SHRUBS	BOTANICAL / COMMON NAME	SIZE	NATURE HEIGHT	MATURE WIDTH	QTY
○	Berberis thunbergii 'Harris' / Sunny Gold Pillar Barberry	2 gal.	4'	2'	13
○	Buxus x 'Green Gem' / Green Gem Boxwood	2 gal.	4'	4'	20
○	Calamagrostis canadensis 'Karl Foerster' / Feather Reed Grass	2 gal.	6'	2'	34
○	Cornus sericea 'Kelsey' / Kelsey Dogwood	2 gal.	2.5'	2.5'	46
○	Geranium x 'Rosanne' TM / Rosanne Cranebill	2 gal.	2.5'	2'	20
○	Helictotrichon sempervirens / Blue Oak Grass	2 gal.	3'	3'	4
○	Hemerocallis x 'Little Business' / Little Business Daylily	2 gal.	2'	2'	27
○	Juniperus sabina 'Buffalo' / Buffalo Juniper	5 gal.	1'	8'	24
○	Miscanthus sinensis 'Little Zebra' / Little Zebra Dwarf Silver Grass	2 gal.	4'	4'	6
○	Macanthus sinensis 'Purpureascens' / Flame Grass	2 gal.	5'	4'	30
○	Panicum virgatum 'Shenandoah' / Switch Grass	2 gal.	4'	3'	40
○	Parthenocissis vitacea 'Little Spire' TM / Little Spire Russian Sage	3 gal.	2'	4'	44
○	Rosa x 'Harbottle' P.P.A.F. / Doe Bay Cherry Pie Rose	2 gal.	4'	4'	27
○	Rudbeckia hirta 'Denver Daisy' / Glowcap Daisy	1 gal.	2'	2'	5
○	Salvia x sylvestris 'May Night' / Sage	1 gal.	2'	2'	6
○	Secum x 'Autumn Joy' / Autumn Joy Sedum	1 gal.			7

PLANTING NOTES

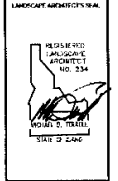
- CONTRACTOR SHALL CALL 811 TO LOCATE ALL EXISTING ABOVE OR BELOW GRADE ON-SITE UTILITIES PRIOR TO COMMENCEMENT OF WORK, INCLUDING PLANTING. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL DISCREPANCIES BETWEEN WHAT IS SHOWN AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE. PRESERVE AND PROTECT EXISTING UTILITIES TO REMAIN FROM DAMAGE OR DISRUPTION. TYPICAL MAINTAIN LOCATES DURING CONSTRUCTION FOR REFERENCE. CONTRACTOR SHALL RECORD ALL UTILITY MANAGER ON A SEPARATE SET OF DRAWINGS. THIS SET SHALL BE KEPT ON-SITE FOR REFERENCE FOR DURATION OF CONTRACT.
- CONTRACTOR TO COORDINATE WITH OWNER'S MAINTENANCE PERSONNEL TO IDENTIFY AND PROTECT ANY EXISTING OWNER MAINTAINED UTILITIES, WATER LINES, IRRIGATION LINES, BRIGATION CONTROL WIRES OR OTHER INFRASTRUCTURE PRIOR TO CONSTRUCTION.
- THE INFORMATION ON THIS SHEET IS INCOMPLETE UNLESS ACCOMPANIED BY THE CORRESPONDING SPECIFICATION SECTIONS AND DETAILS DEVELOPED FOR THIS PROJECT. REFER TO THOSE SPECIFICATIONS AND DETAILS FOR ADDITIONAL INFORMATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION AND NOTIFYING THE OWNER AND OWNER REPRESENTATIVE OF DISCREPANCIES. VERIFY THAT SUB GRAD PREPARATION HAS BEEN COMPLETED TO ACCEPTABLE TOLERANCES PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR ACCEPTS SUB GRADES UPON COMMENCEMENT OF WORK AND IS RESPONSIBLE FOR ANY CORRECTIONS REQUIRED AFTER WORK BEGINS.
- REMOVE ALL CONSTRUCTION DEBRIS, CONCRETE, MORTAR, ROCKS, ETC FROM LANDSCAPE AREAS PRIOR TO SUB GRAD PREPARATION AND INSTALLATION OF PLANTING SOIL.
- TREES AND SHRUBS TO MEET REQUIREMENTS OF AMERICAN STANDARD FOR NURSERY STOCK FOR SIZE AND MATERIAL CONDITION.
- PLANT CULTIVARS IN LEGEND ARE FOR REFERENCE ONLY. PLANT SYMBOLS DICTATE THE REQUIRED PLANTS.
- PLANTING SOIL SCHEDULE (SEE SPECIFICATIONS):
 - PLANTING AREAS: 2" OF MINERAL MULCH TYPE 1, 5/8" BASALT CHIP
 - PLANTING AREAS: 4" OF APPROVED PLANTING SOIL TYPE 'B'.
 - PLANTING AREAS: 6" OF APPROVED PLANTING SOIL TYPE 'B'.
- MINERAL MULCH SCHEDULE (SEE SPECIFICATIONS):
 - PLANTING AREAS: 2" OF MINERAL MULCH TYPE 1, 5/8" BASALT CHIP
- ALL LANDSCAPE AREAS TO BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM. SEE IRRIGATION PLANS AND SPECIFICATIONS.
- TREE LOCATIONS MAY VARY DEPENDING ON WALK, DRIVEWAY, AND UTILITY LOCATIONS. STAKE FOR APPROVAL PRIOR TO PLANTING.
- LAYOUT OF MONUMENTS AND EODING TO BE MARKED FOR APPROVAL PRIOR TO INSTALLATION.
- DO NOT COMPACT BOTTOMS OF SWALES. PROTECT SWALES FROM CONSTRUCTION TRAFFIC AND DEBRIS. SEE CIVIL PLANS FOR SLOPE ON SWALES.
- ALL TREES TO BE SINGLE TRUNKED, UNLESS OTHERWISE NOTED. MULTI-TRUNKED TREES TO INCLUDE MAIN LEADER EQUAL OR GREATER TO SIZE SPECIFIED.
- TREES OF THE SAME SPECIES SHALL BE MATCHED FROM SAME LOT AND GROWER.
- FINISH GRADE TO BE:
 - PLANTING AREAS: 2 1/2" BELOW ADJACENT WALKS OR HARDSCAPE ELEMENTS BEFORE INSTALLATION OF MINERAL/ORGANIC MULCH.
 - TURF AREAS, SODDED: 2" BELOW ADJACENT WALKS OR HARDSCAPE ELEMENTS.

UNDERGROUND SERVICE ALERT
 ONE-CALL NUMBER
811
 CALL TWO BUSINESS DAYS BEFORE YOU DIG



MONTANA LANDSCAPE ARCHITECTS, PLLC
 101 S. Broad Street, Suite 100
 Bozeman, MT 59702
 (406) 552-1111

201
 MONTANA LANDSCAPE ARCHITECTS, PLLC
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 (406) 552-1111



REVISION	DATE
Δ PERMIT RESPONSE	9/7/21
Δ PERMIT REVISION	11/1/21

20-0368
 6/10/2021
 JCS
 MDT

20-0368
 6/10/2021
 JCS
 MDT

DRAWING 1 OF 3
L1.1

CALLOUTS

- 1 EXISTING FENCE TO REMAIN. PRESERVE AND PROTECT.
- 2 REMOVABLE BOLLARD. SEE L3.1, DETAIL I.
- 3 SOCIAL SPACE/COMMUNITY GARDEN.
- 4 BENCH ON CONCRETE PAD.
- 5 PLAZA.
- 6 DOG PARK.
- 7 PLAYGROUND WITH POURED-IN-PLACE SAFETY SURFACING.
- 8 PLAY EQUIPMENT.

IRRIGATION CALLOUTS

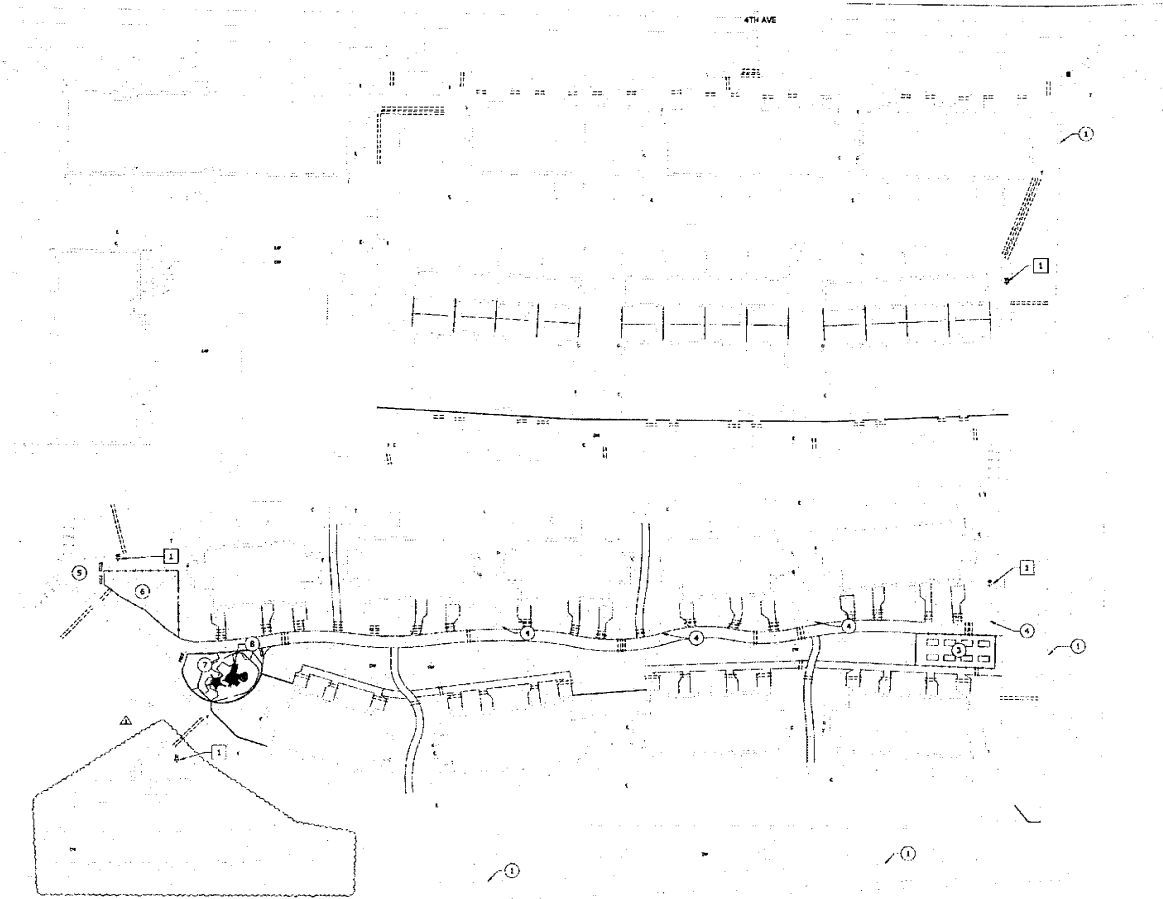
- 1 IRRIGATION 2" DIAL. SEE SHEET L-2, DETAIL K.

LEGEND

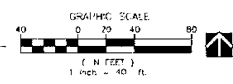
- TURF GRASS SOO WITH AUTOMATIC OVERHEAD IRRIGATION 2" OF PLANTING SOIL TYPE B.
- LOW MAINTENANCE GRASS HYDRASEED WITH AUTOMATIC OVERHEAD IRRIGATION.
- PLANTER AREA WITH 2" OF MINERAL MULCH TYPE 'A' AND 6" OF PLANTING SOIL TYPE 'B'. BUBBLER IRRIGATION, 1 BUBBLER PER 30'x30' GRASS AND 2 BUBBLERS PER TREE.
- IRRIGATION POC - SERVICE AND METER. SEE CIVIL PLANS.
- 4" IRRIGATION SLEEVE OR AS DETERMINED BY SLEEVE SCHEDULE.

IRRIGATION NOTES


1. CONTRACTOR SHALL CALL 811 TO LOCATE ALL EXISTING ABOVE OR BELOW GRADE ON-SITE UTILITIES PRIOR TO COMMENCEMENT OF WORK, INCLUDING PLANTING. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL DISCREPANCIES BETWEEN WHAT IS SHOWN AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE. PRESERVE AND PROTECT EXISTING UTILITIES TO REMAIN FROM DAMAGE OR DISRUPTION. TYPICAL. MAINTAIN LOCATIONS DURING CONSTRUCTION FOR REFERENCE. CONTRACTOR SHALL RECORD ALL UTILITY MARKINGS ON A SEPARATE SET OF DRAWINGS. THIS SET SHALL BE KEPT ON-SITE FOR REFERENCE FOR DURATION OF CONTRACT.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION AND NOTIFYING THE OWNER AND OWNER'S REPRESENTATIVES OF DISCREPANCIES. VERIFY THAT SUB GRADE PREPARATION HAS BEEN COMPLETED TO ACCEPTABLE TOLERANCES PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR ACCEPTS SUB GRASSES UPON COMMENCEMENT OF WORK AND IS RESPONSIBLE FOR ANY CORRECTIONS REQUIRED AFTER WORK BEGINS.
3. IRRIGATION EQUIPMENT SHALL ALWAYS BE LOCATED WITHIN LANDSCAPE AREAS UNLESS SPECIFICALLY NOTED. LOCATE VALVE BOXES NEXT TO CURBS, PAVED SURFACES, OR IN PLANTING BEDS WHERE POSSIBLE. VALVES AND VALVE BOXES SHALL NOT BE LOCATED IN THE BOTTOMS OF SWALES OR SHALE INLETS.
4. IRRIGATION CONTROLLER: SUPPLY CONTROLLER AS SPECIFIED AND LOCATE AS SHOWN ON PLANS AND DETAILS. COORDINATE LOCATION AND INSTALLATION OF CONTROLLER(S) WITH GENERAL CONTRACTOR FOR ELECTRICAL SERVICE AND SWEEPERS THROUGH FOUNDATIONS AS NECESSARY. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL CODES AND ORDINANCES INCLUDING BUILDING/ELECTRICAL PERMIT REQUIREMENTS.
5. IRRIGATION SYSTEM BASES OF DESIGN:
 - a. STATIC PRESSURE: FIELD VERIFY PSI AT THE SOURCE.
 - b. SOURCE: CITY OF POST FALLS.
 - c. CONTRACTOR TO VERIFY WORKING PSI AT MINIMUM OPERATING FLOW PRIOR TO CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT OF ANY DEFICIENCIES PRIOR TO COMMENCEMENT OF WORK.
6. SLEEVE SCHEDULE:
 - a. ALL MAIN LINE PIPING AND CONTROL WIRES UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES UNDER HARD SURFACES.
 - b. PIPES SIZED TO 2.5" - 4" SCHEDULE 40 PVC SLEEVE.
 - c. PIPES TO 3"-4" - 6" SCHEDULE 40 PVC SLEEVE.
 - d. PIPES GREATER THAN 4" - 8" SCHEDULE 40 PVC SLEEVE.
 - e. CONTROL WIRES: 2" MIN. SCHEDULE 40 PVC SLEEVE.
7. CONTRACTOR TO INSTALL THURST BLOCKING AT MAINLINE CHANGES OF DIRECTION FOR ALL MAINLINE PIPING 2" AND LARGER.
8. PRESSURE TESTING: PRESSURE TESTING IS REQUIRED FOR ALL MAINLINE AND LATERAL LINES. SEE SPECIFICATIONS FOR REQUIREMENTS.
9. INSTALL ALL VALVE BOXES PERPENDICULAR TO ADJACENT FENCES, WALKS, AND BUILDINGS. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
10. THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVER SPRAY ONTO WALKS, STREETS, WALLS, ETC. CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO HEAD LOCATIONS IN FIELD AS NECESSARY TO ENSURE HEAD TO HEAD COVERAGE WITH NO OVERSPRAY ON TO PAVED SURFACES. SOME ROTOR ZONES ARE DESIGNED WITH GREATER THAN HEAD TO HEAD COVERAGE TO COMPENSATE FOR WIND ADJUST AS NECESSARY FOR COVERAGE.
11. ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS IN ACCORDANCE TO LOCAL CODES.
12. INSTALL OWNER APPROVED IRRIGATION CONTROLLER AS PER MANUFACTURER'S SPECIFICATIONS IN LOCATION AS APPROVED BY OWNER'S REPRESENTATIVE.
13. 120V AC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATIONS SHALL BE PROVIDED. SEE ELECTRICAL PLANS. FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLER AND INCLUDE ALL PERMITS SHALL BE IN ACCORDANCE WITH LOCAL CODES.
14. IRRIGATION POC: INSTALL ALL BACK-FLOW PREVENTION DEVICES AND ALL PIPING BETWEEN THE POINT OF CONNECTION AND THE BACK-FLOW PREVENTION DEVICES AS REQUIRED BY LOCAL CODES. CONTRACTOR TO COMPLETE REQUIRED TESTING AND SUPPLY SATISFACTORY TEST RESULTS WITH OPERATIONS AND MAINTENANCE MANUALS.



A IRRIGATION PLAN



UNDERGROUND SERVICE ALERT
ONE-CALL NUMBER
811
CALL TWO BUSINESS DAYS BEFORE 10th DIG

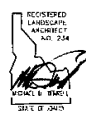


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LANDSCAPE ARCHITECTS & E.A.S.

REGISTERED LANDSCAPE ARCHITECT
No. 234



POST FALLS, AR
SHEET 02/2021

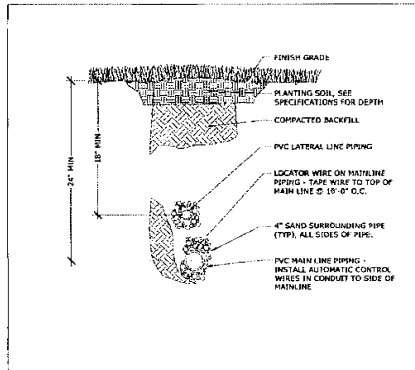
POST FALLS MILL SITE TOWNHOMES
6 ACRE DEVELOPMENT
IRRIGATION PLAN

REVISION	DATE
△ PERMIT RESPONSE	6/7/21
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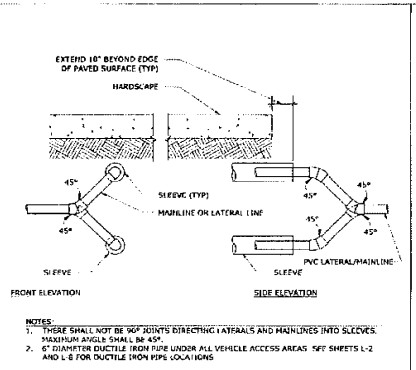
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DATE	6/10/2021
DESIGNER	JCS
CHECKER	MDT

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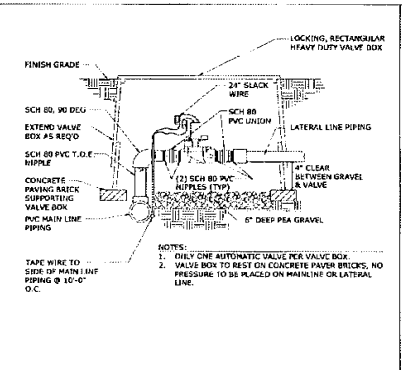
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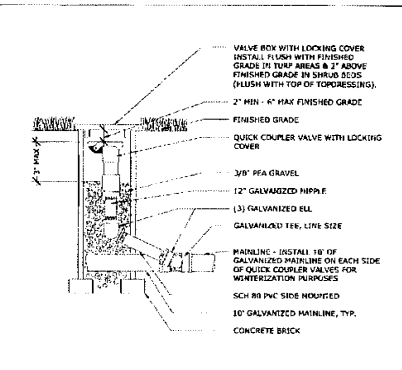
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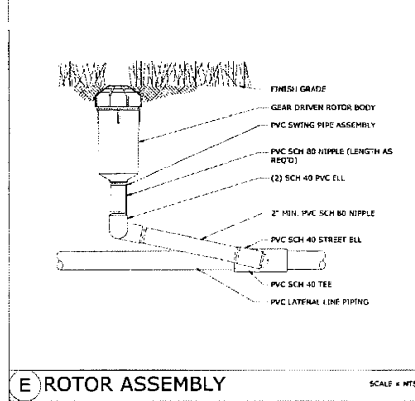
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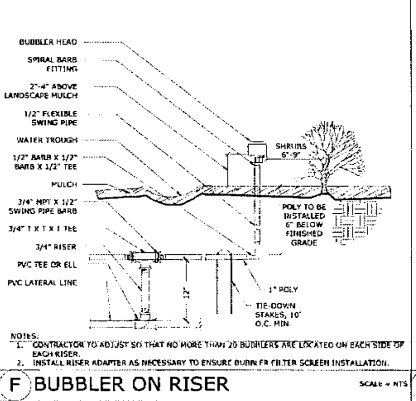
C CONTROL VALVE INSTALLATION SCALE = NTS



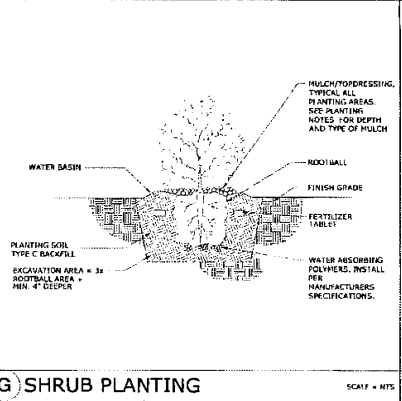
D QUICK COUPLER VALVE IN BOX SCALE = NTS



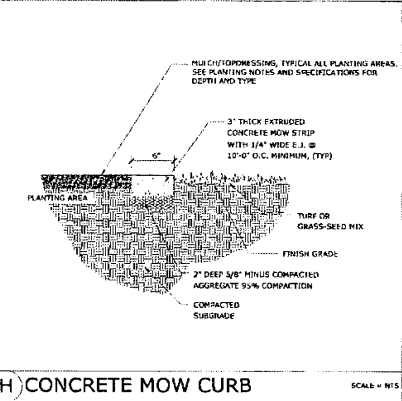
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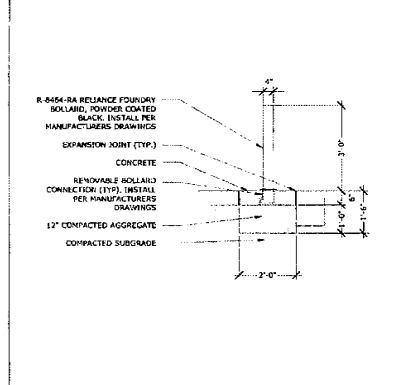
F BUBBLER ON RISER SCALE = NTS



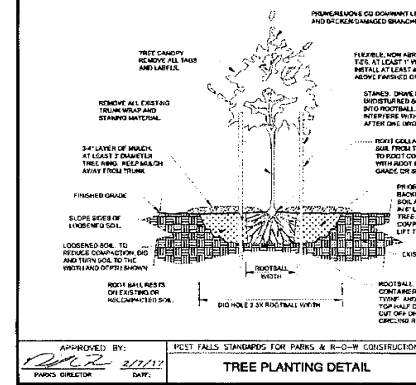
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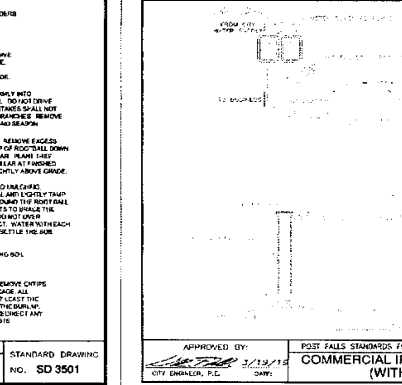
H CONCRETE MOW CURB SCALE = NTS



I REMOVABLE BOLLARD SCALE = NTS



J TREE PLANTING DETAIL SCALE = NTS

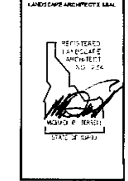


K DCVA DETAIL SCALE = NTS



KUNAS TRAVIS
Landscape Architecture, PLLC
10714 Main Street
Suite 107
Post Falls, IA
59703-1071

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POST FALLS MILL SITE APARTMENTS
6 ACRE DEVELOPMENT
LANDSCAPE DETAILS

REVISION	DATE
1	6/10/2021
2	
3	

PROJECT NO. 20-036B
DATE 6/10/2021
DESIGNER JCS
CHECKER MDT

DRAWING 3 OF 3
L3.1

UNDERGROUND SERVICE ALERT
ONE-CALL NUMBER
811
CALL TWO BUSINESS DAYS BEFORE YOU DIG

**CITY OF POST FALLS
AGENDA REPORT
PUBLIC HEARING
MEETING DATE: January 18, 2022**

DATE: January 12, 2022
TO: HONORABLE MAYOR AND CITY COUNCIL
FROM: JON MANLEY, PLANNING MANAGER
jmanley@postfallsidaho.org / 208-457-3344
SUBJECT: TITLE 17 LOT LINE ADJUSTMENT

ITEM AND RECOMMENDED ACTION:

The Planning Division is seeking to amend Post Falls Municipal Code Section 17.04.030. pertaining to lot line adjustments.

DISCUSSION: Exhibit S-1 (Draft Ordinance), details the code section that is being requested to be modified, with the underlined text being the proposed new language and the ~~striketrough~~ text being removed. The following is an overview of the proposed changes:

Purpose: To reign in the overuse of utilizing the use of lot line adjustments to avoid project related improvements.

ITEM / PROJECT PREVIOUSLY REVIEWED BY COUNCIL ON: N/A

APPROVED OR DIRECTION GIVEN: The Planning and Zoning Commission at their December 14th meeting recommended approval for the proposed change to Title 17.

FISCAL IMPACT OR OTHER SOURCE OF FUNDING: N/A

BUDGET CODE: N/A

SUPPORTING DOCUMENTS:

STAFF EXHIBITS:

Exhibit S-2 Planning and Zoning Staff Report
Exhibit S-1 Draft Title 17 Ordinance
Exhibit PA-1 PFHD Comments

**CITY OF POST FALLS
STAFF REPORT**

DATE: November 19, 2021

TO: POST FALLS PLANNING & ZONING COMMISSION

FROM: JON MANLEY, PLANNING MANAGER, 457-3344, jmanley@postfallsidaho.org

SUBJECT: STAFF REPORT FOR THE DECEMBER 14, 2021 P&Z MEETING
TITLE 17 LOT LINE ADJUSTMENT

FILE NUMBER/NAME: TA-0003-2021 / TITLE 17 TEXT AMENDMENT- LOT LINE ADJUSTMENT

APPLICANT: City of Post Falls Planning Division

REQUESTED ACTION: The Planning Division is seeking to amend Post Falls Municipal Code Section 17.04.030. pertaining to lot line adjustments.

PROPOSED CHANGES: Exhibit S-1 (Draft Ordinance), details the code section that is being requested to be modified, with the underlined text being the proposed new language and the ~~struckthrough~~ text being removed. The following is an overview of the proposed changes:

Purpose: To reign in the overuse of utilizing the lot line adjustments to avoid project related improvements.

OTHER AGENCY RESPONSE & RECEIVED WRITTEN COMMENTS:

Agencies Notified:

Post Falls Post Office	PF Park & Rec	East Greenacres Irr. District
Kootenai County Fire	Kootenai Electric	Time Warner Cable
PF Highway District	Ross Point Water	PF Police Department
PF School District	Verizon	Utilities (W/WW)
Avista Corp. (WWP-3)	Idaho Department of Lands	Urban Renewal Agency
Department of Environmental Quality	Panhandle Health District	Kootenai County Planning
Conoco, Inc. (Pipeline Co.)	NW Pipeline Corp.	KMPO
Yellowstone Pipeline Co.	TransCanada GTN	TDS

MOTION OPTIONS: The Planning Commission must provide a recommendation pertaining to the requested amendment to City Council, of which at a later date, an additional Public Hearing will be heard by City Council. Should the Commission need additional information or wish to hear additional testimony, it may wish to move to continue the public hearing to a later date certain. If the Commission has heard sufficient testimony but needs additional time to deliberate and make a recommendation, it may close the public hearing and move the deliberations to a later date certain.

ATTACHMENTS:

Staff Submittals:

Exhibit S-1 Draft Title 17 Ordinance

ORDINANCE NO. [Category]

AN ORDINANCE OF THE CITY OF POST FALLS, KOOTENAI COUNTY, A MUNICIPAL CORPORATION OF THE STATE OF IDAHO, AMENDING MUNICIPAL CODE SECTION 17.04.0030 TO PROVIDE REGULATIONS OF LOT LINE ADJUSTMENTS AND PROVIDING THAT LOT LINE ADJUSTMENTS WILL BE PROCESSED FOLLOWING THE PROCEDURE FOR MINOR SUBDIVISION APPROVAL; PROVIDING THAT REMAINING SECTIONS OF POST FALLS CITY CODE SHALL REMAIN IN EFFECT; PROVIDING FOR SEVERABILITY; PROVIDING FOR THIS ORDINANCE TO BE IN FULL FORCE AND EFFECT FROM AND AFTER ITS PASSAGE, APPROVAL, AND PUBLICATION ACCORDING TO LAW

WHEREAS, the Mayor and City Council find that additional regulation of lot line adjustments is needed to insure that lot line adjustments comply with the requirements of city code and all agreements regulating the development of the property; and

WHEREAS, The Mayor and City Council also find that it is necessary to provide a procedure for reviewing and approving lot line adjustments; and

WHEREAS, after public hearing on the hereinafter provided, and after recommendation of the Planning and Zoning Commission, it is deemed by the Mayor and City Council to be in the best interests of the citizens of the City of Post Falls that the following be adopted.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Council of the City of Post Falls as follows:

SECTION 1. That Post Falls Municipal Code Section 17.04.030 is amended as follows:

17.04.030: APPLICABILITY AND JURISDICTION:

A. These regulations shall apply to all subdivision of land within the city limits and within the city's area of city impact unless exempt as provided in this title. All divisions of land that were the result of a legal conveyance in compliance with prior subdivision ordinances of the city or county prior to the effective date hereof, and which meet the requirements of the underlying zoning classification, shall be considered eligible to apply for building permits. Certain provisions of this

title shall apply to the division of any tract of land outside the corporate limits of the city, but within the area of city impact as agreed between the city and Kootenai County pursuant to Idaho Code.

B. It shall be unlawful for any person to carry out actions constituting the subdivision of land without first complying with the provisions of this title, and any other provisions of this code.

C. It shall be unlawful for any person to transfer ownership of lots constituting the subdivision of land as defined or required by this title before a plat has been prepared and recorded pursuant to procedures in Idaho Code, title 50, chapter 13, or its successor, and all required improvements have been constructed and accepted by the city or suitably guaranteed.

D. Exemptions to the subdivision ordinance include:

1. Divisions of a tract of land made pursuant to testamentary provisions, the laws of descent, or similar orders of partition entered by court proceedings to distribute undivided interests. Parcels of land so created must comply with lot size, frontage, and other standards established by this code and other applicable laws to be eligible for a building permit or to qualify for establishment of a regulated land use.
2. Approved ~~D~~ivisions made for the purpose of lot line adjustments of lots or legally created unplatted parcels where no additional lots are created and where the resultant tracts comply with the requirements of the underlying zoning classification and the following requirements:
 - a. Existing lots or parcels may not be reduced in size below the minimum lot dimensions established by the applicable zoning district.
 - b. Adjusted lots or parcels must meet lot coverage requirements and must accommodate minimum required setbacks.
 - c. Such adjustments may necessitate access and utility easements to be recorded.

- d. Only one common lot line between two (2) lots or parcels is being adjusted. If lot line adjustments are conducted on "nonstandard" lots then the resulting adjusted lots should better conform to the applicable zoning standards.
 - e. A lot line adjustment has not been completed on any of the lots or parcels within the previous three hundred and sixty-five (365) calendar days.
 - f. The lot line adjustment must be consistent with all conditions of approval and agreements regulating development and use of the property, including but not limited to, annexation agreements, development agreements, and regulating plans.
 - g. Lot line adjustments are applied for, and approved, using the process for minor subdivision review and approval contained in Section 17.12.050.
3. Divisions made as the result of exercise of the powers of eminent domain as defined and allowed for by Idaho Code.
 4. Divisions made for the expansion or acquisition of road rights of way by a public agency.
 5. Divisions for conveyance of land to the city, a public entity, homeowners' association or public utility for a public or common purpose (well site, drainage site, fire station, school site, park site, etc.).
 6. Divisions made for cemeteries or burial plots.

SECTION 2. All provisions of the current Post Falls Municipal Code or ordinances of the City of Post Falls and parts of ordinances in conflict with this ordinance are hereby repealed to the extent of such conflict.

SECTION 3. Neither the adoption of this ordinance nor the repeal of any ordinance shall, in any manner, affect the prosecution for violation of such ordinance committed prior to the effective date of this ordinance or be construed as a waiver of any license or penalty due under any such ordinance or in any manner affect the validity of any action heretofore taken by the City of

Post Falls City Council or the validity of any such action to be taken upon matters pending before the City Council on the effective date of this ordinance.

SECTION 4. The provisions of this ordinance are severable and if any provision, clause, sentence, subsection, word, or part thereof is held illegal, invalid, or unconstitutional or inapplicable to any person or circumstance, such illegality, invalidity or unconstitutionality or inapplicability shall not affect or impair any of the remaining provisions, clauses, sentences, subsections, words or parts of this ordinance or their application to other persons or circumstances. It is hereby declared to be the legislative intent that this ordinance would have been adopted if such illegal, invalid, or unconstitutional provision, clause sentence, subsection, word, or part had not been included therein, and if such person or circumstance to which the ordinance or part thereof is held inapplicable had been specifically exempt therefrom.

SECTION 5. After its passage and adoption, a summary of this Ordinance, under the provisions of the Idaho Code, shall be published once in the official newspaper of the City of Post Falls, and upon such publication shall be in full force and effect.

Passed under suspension of rules upon which a roll call vote was duly taken and duly enacted an Ordinance of the City of Post Falls at a regular session of the City Council on November ____ 2021.

APPROVED, ADOPTED and SIGNED this day of November, 2021.

Ronald G. Jacobson, Mayor

ATTEST:

Shannon Howard, City Clerk

SUMMARY OF POST FALLS ORDINANCE NO. [Category]

AN ORDINANCE OF THE CITY OF POST FALLS, KOOTENAI COUNTY, A MUNICIPAL CORPORATION OF THE STATE OF IDAHO, AMENDING MUNICIPAL CODE SECTION 17.04.0030 TO PROVIDE REGULATIONS OF LOT LINE ADJUSTMENTS AND PROVIDING THAT LOT LINE ADJUSTMENTS WILL BE PROCESSED FOLLOWING THE PROCEDURE FOR MINOR SUBDIVISION APPROVAL; PROVIDING THAT REMAINING SECTIONS OF POST FALLS CITY CODE SHALL REMAIN IN EFFECT; PROVIDING FOR SEVERABILITY; PROVIDING FOR THIS ORDINANCE TO BE IN FULL FORCE AND EFFECT FROM AND AFTER ITS PASSAGE, APPROVAL, AND PUBLICATION ACCORDING TO LAW

The City of Post Falls, Kootenai County Idaho hereby gives notice of the adoption of Post Falls Ordinance No. [Category], which [DESCRIPTION]; providing repeal of conflicting ordinances and providing severability. The ordinance is effective upon publication of this summary. The full text of Ordinance No. [Category] is available at Post Falls City Hall, 408 Spokane Street, Post Falls, ID 83854 in the office of the City Clerk. Dated this ____ day of November, 2021.

/s/

Shannon Howard, City Clerk

STATEMENT OF LEGAL ADVISOR

I, Warren J. Wilson, the legal advisor for the City of Post Falls, I have examined the attached summary of Ordinance No. [Category], which [DESCRIPTION], and find it to be a true and complete summary of said ordinance and provides adequate notice of the contents to the public.

Dated this ____ day of November, 2021.

Warren J. Wilson, City Attorney

DRAFT

Amber Blanchette

From: shannon@postfallshd.com
Sent: Wednesday, December 29, 2021 6:57 AM
To: Amber Blanchette
Cc: jonie@postfallshd.com
Subject: RE: Title 17 Amendment TA-0003-2021

WARNING: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Amber,

Post Falls Highway District has no comment!

Thank you,

Shannon Schranck
Post Falls Highway District
5629 E Seltice Way
Post Falls, ID 83854
208-765-3717

From: Amber Blanchette <amberb@postfallsidaho.org>
Sent: Thursday, December 23, 2021 9:48 AM
To: Ali Marienau <AMarienau@kmpo.net>; Andy Obermueller <aobermueller@cdapress.com>; audie.neuson@williams.com; Avista <c01_Real_Estate@avistacorp.com>; Bill Melvin <bmelvin@postfallsidaho.org>; Bill Roberson <william.roberson@itd.idaho.gov>; Brittany Stottlemire <brittany.stottlemire@avistacorp.com>; CDA GARBAGE <jennifer@cdagarbage.com>; CDA Press <BBLITZ@cdapress.com>; Charles Lane <Charles.Lane@charter.com>; CHARTER <DLwest-pnw-construction@charter.com>; Chris Riedeman <criedeman@kec.com>; Dan Ryan <danr@kootenaifire.com>; Dan Selden <danselden@hotmail.com>; Dana Marsh <dana.marsh@tdstelecom.com>; David Callahan <dcallahan@kcgov.us>; David Fair <dfair@postfallsidaho.org>; David Sauer (ZiPLY) <david.sauer@ziPLY.com>; Dena Naccarato <dnaccarato@273.com>; Dewey, Kristina <kristina.a.dewey@usps.gov>; Diane URA <dianepfura@gmail.com>; Dylan Owens <dylan.owens@tdstelecom.com>; Ellie Hilbert <ehilbert@cdapress.com>; Erik Ketner <eketner@phd1.idaho.gov>; Erika Auger <eauger@phd1.idaho.gov>; Erin Butler <ebutler@sd273.com>; Ethan Porter <eport@postfallsidaho.org>; Field Herrington <fherrington@postfallsidaho.org>; Heidi <heidig@inlander.com>; Heidi Varney <hvarney@postfallsidaho.org>; J Mcmillin <jmcmillin@postfallspolice.com>; Jame Davis <jame.davis@intermaxteam.com>; Jason Faulkner <jfaulkner@postfallsidaho.org>; Jason Kimberling <jason.kimberling@itd.idaho.gov>; Jennifer Poindexter <jpoindexter@postfallsidaho.org>; Jeryl Archer <jeryla@kootenaifire.com>; jhofer@kec.com; JHolderman@KEC.com; Jodi Meyer <jmeyer@postfallsidaho.org>; John Beacham <jbeacham@postfallsidaho.org>; Jonathon Manley <jmanley@postfallsidaho.org>; Judah Lopez <judah_lopez@tracacanaca.com>; Justin Miller <jmiller@postfallsidaho.org>; Keeler <keeler.white@twcable.com>; Kevin Linville <kevin.linville@tdstelecom.com>; Kirk <Kirk.Hobson@charter.com>; Kirk Hobson <kirk.hobson@twcable.com>; KMPO <Gmiles@kmpo.net>; Kootenai Electric <mblyton@kec.com>; Kootenai Electric <mnewcomer@kec.com>; Kristie McEnroe <kristie.mcenroe@deq.idaho.gov>; Laura Jones <ljones@postfallsidaho.org>; lauriep@kootenaifire.com; Lindsay Spencer <lindsay@eastgreenacres.org>; Lynn Sandor, AECOM <lynn.sandor@aecom.com>; Marvin Fenn <marvin.fenn@itd.idaho.gov>; Matthew Jones, BNSF <matthew.jones@bnsf.com>; Media <media@postfallsidaho.org>; Michael Allen <MAllen@postfallspolice.com>; Michael Thomas, P.E. <mthomas@kec.com>; Monica Miller <momiller@quantatel.com.com>; Naomi Tierney <ntierney@postfallsidaho.org>; Pat Knight <pknight@postfallspolice.com>; PFHD <contactus@postfallshd.com>; PFPD

CITY OF POST FALLS
AGENDA REPORT
Unfinished Business
MEETING DATE: 1/18/2022

DATE: 1/11/2022 1:18 PM
TO: HONORABLE MAYOR AND CITY COUNCIL
FROM: Amber Blanchette
SUBJECT: Smock Vacation Ordinance File No. VACA-0001-2021

ITEM AND RECOMMENDED ACTION:

With approval of the Agenda, City Council authorizes the Mayor's signature of the Ordinance for Smock Vacation.

DISCUSSION:

This has been approved and recently recorded on December 21, 2021 however, we needed to correct a portion of Section 1.

ITEM / PROJECT PREVIOUSLY REVIEWED BY COUNCIL ON:

Yes

APPROVED OR DIRECTION GIVEN:

Approved

FISCAL IMPACT OR OTHER SOURCE OF FUNDING:

N/A

BUDGET CODE:

N/A

ORDINANCE NO. _____

**RIGHT OF WAY VACATION
SMOCK VACATION (File No. VACA-0001-2021)**

AN ORDINANCE OF THE CITY OF POST FALLS, A MUNICIPAL CORPORATION OF THE STATE OF IDAHO, PROVIDING FOR THE VACATION OF RIGHTS OF WAY SITUATED IN THE NORTH-SOUTH ALLEY IN BLOCK 6, THE EAST-WEST ALLEY IN BLOCK 6 AND A PORTION OF SIXTH STREET ADJOINING THE SOUTHERLY LINE OF BLOCK 6 OF THE PLAT OF SHANKS-BOYD ADDITION ACCORDING TO THE PLAT THEREOF RECORDED IN BOOK B OF PLATS, PAGE 62, RECORDS OF KOOTENAI COUNTY, IDAHO; LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 50 NORTH, RANGE 5 WEST, BOISE MERIDIAN AS DESCRIBED HEREIN; PROVIDING FOR DISPOSITION OF THE VACATED RIGHT OF WAY; PROVIDING REPEAL OF CONFLICTING ORDINANCES; PROVIDING SEVERABILITY; PROVIDING AN EFFECTIVE DATE; AND PROVIDING FOR OTHER MATTERS PROPERLY RELATING THERETO.

WHEREAS, this Ordinance supersedes the previously recorded Ordinance, Instrument Number 2879850000, to correct an error within Section 1.

WHEREAS, the owners of the real property south of W 7th Ave. and west of N. Spokane St., and north of W 6th Ave. have petitioned the City to vacate the Alley and 6th Ave right of way adjacent to their property as described herein; and

WHEREAS, on the 2nd day of November 2021 the City Council conducted a public hearing to receive public comment on the proposed vacation of the subject rights of way;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF POST FALLS AS FOLLOWS:

SECTION 1: That the Alley and 6th Ave. right of way described on the attached Exhibit “A”, which is situated in the North-South Alley in Block 6, the East-West Alley in Block 6 and a Portion of 6th St adjoining the Southerly Line of Block 6 of the Plat of Shanks-Boyd addition according to the Plat Thereof Recorded in Book B of Plats, Page 62, Records of Kootenai County, Idaho; Located in the West Northwest Quarter of Section 3, Township 50 North, Range 5 West, Boise Meridian, City of Post Falls, Kootenai County, Idaho is hereby vacated.

SUBJECT TO:

Any existing rights of way, easements, covenants, conditions, rights, reservations, restrictions, encumbrances or applicable subdivision, building and zoning

ordinances and use regulations, of record or in view; as depicted on the attached Exhibit "A".

SECTION 2: That the above described right of way be vacated to the adjacent property owner.

SECTION 3: All provisions of the current Municipal Code of the City of Post Falls or ordinances of the City of Post Falls which conflict with the provisions of this ordinance are hereby repealed to the extent of such conflict.

SECTION 4: This ordinance is hereby declared to be severable. Should any portion of this ordinance be declared invalid by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect and shall be read to carry out the purpose(s) of the ordinance before the declaration of partial invalidity.

SECTION 5: This ordinance shall be in full force and effect upon its passage and publication according to law in the official newspaper of general distribution in the City. Enacted by the city council as an ordinance of the City of Post Falls on this ____ day of _____, 2022.

Approved by the Mayor on the ____ day of _____, 2021.

CITY OF POST FALLS

By: _____
Ronald G. Jacobson, Mayor

ATTEST:

Shannon Howard, City Clerk

SUMMARY OF POST FALLS ORDINANCE NO.

AN ORDINANCE OF THE CITY OF POST FALLS, A MUNICIPAL CORPORATION OF THE STATE OF IDAHO, PROVIDING FOR THE VACATION OF RIGHTS OF WAY SITUATED IN THE NORTH-SOUTH ALLEY IN BLOCK 6, THE EAST-WEST ALLEY IN BLOCK 6 AND A PORTION OF SIXTH STREET ADJOINING THE SOUTHERLY LINE OF BLOCK 6 OF THE PLAT OF SHANKS-BOYD ADDITION ACCORDING TO THE PLAT THEREOF RECORDED IN BOOK B OF PLATS, PAGE 62, RECORDS OF KOOTENAI COUNTY, IDAHO; LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 50 NORTH, RANGE 5 WEST, BOISE MERIDIAN AS DESCRIBED HEREIN; PROVIDING FOR DISPOSITION OF THE VACATED RIGHT OF WAY; PROVIDING REPEAL OF CONFLICTING ORDINANCES; PROVIDING SEVERABILITY; PROVIDING AN EFFECTIVE DATE; AND PROVIDING FOR OTHER MATTERS PROPERLY RELATING THERETO.

LEGAL DESCRIPTION – VACATED ALLEY 6th AVE ROW:

THE NORTH-SOUTH ALLEY IN BLOCK 6, THE EAST-WEST ALLEY IN BLOCK 6 AND A PORTION OF SIXTH STREET ADJOINING THE SOUTHERLY LINE OF BLOCK 6 OF THE PLAT OF SHANKS-BOYD ADDITION ACCORDING TO THE PLAT THEREOF RECORDED IN BOOK B OF PLATS, PAGE 62, RECORDS OF KOOTENAI COUNTY, IDAHO; LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 50 NORTH, RANGE 5 WEST, BOISE MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 1 OF SAID BLOCK 6; THENCE NORTH 89°02'32" WEST 20.00 FEET TO THE NORTHEAST CORNER OF LOT 21 OF SAID BLOCK 6; THENCE SOUTH 00°57'28" WEST 125.00 FEET TO THE SOUTHEAST CORNER OF LOT 21 OF SAID BLOCK 6; THENCE NORTH 89°02'32" WEST 180.00 FEET TO THE SOUTHWEST CORNER OF LOT 16 OF SAID BLOCK 6; THENCE SOUTH 00°57'28" WEST 20.00 FEET TO THE NORTHWEST CORNER OF LOT 15 OF SAID BLOCK 6; THENCE SOUTH 89°02'32" EAST 180.00 FEET TO THE NORTHEAST CORNER OF LOT 10 OF SAID BLOCK 6; THENCE SOUTH 00°57'28" WEST 125.00 FEET TO THE SOUTHEAST CORNER OF LOT 10 OF SAID BLOCK 6; THENCE NORTH 89°02'32" WEST 180.00 FEET TO THE SOUTHWEST CORNER OF LOT 15 OF SAID BLOCK 6; THENCE SOUTH 00°57'28" WEST, ALONG THE SOUTHERLY EXTENDED WEST LINE OF SAID BLOCK 6, A DISTANCE OF 40.00 FEET TO THE RIGHT OF WAY FENCE OF INTERSTATE 90; THENCE ALONG SAID RIGHT OF WAY LINE THE FOLLOWING COURSES AND DISTANCES: NORTH 89°32'04" EAST 32.98 FEET; THENCE NORTH 84°41'59" EAST 20.08 FEET; THENCE NORTH 74°10'45" EAST 20.32 FEET; THENCE NORTH 54°47'33" EAST 7.91 FEET; THENCE NORTH 38°46'29" EAST 33.50 FEET, TO THE SOUTH LINE OF LOT 9 OF SAID BLOCK 6; THENCE LEAVING SAID RIGHT OF WAY FENCE NORTH 89°02'32" WEST 31.16 FEET TO THE SOUTHWEST CORNER OF LOT 9 OF SAID BLOCK 6; THENCE NORTH 00°57'28" EAST 270.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 17,458 SQUARE FEET, MORE OR LESS

The forgoing is a summary of Ordinance No. [Category]. This Ordinance was passed on the ____ day of January, 2022. The full ordinance is on file with the City Clerk and will be promptly provided to any citizens on personal request. Dated this ____ day of January, 2022.

Shannon Howard, City Clerk

STATEMENT OF LEGAL ADVISOR

I, Warren J. Wilson, the legal advisor for the City of Post Falls, hereby certify that I have examined the attached summary and find the foregoing is a true and complete summary of Ordinance No. [Category] and provides adequate notice of the contents of this Ordinance to the public.

Dated this ____ day of January, 2022.

Warren J. Wilson, City Attorney

LINE TABLE		
LINE	BEARING	LENGTH
L1	N89°02'32"W	20.00'
L2	S0°57'28"W	20.00'
L11	S89°02'32"E	2.00'
L12	S0°57'28"W	30.00'
L13	S89°02'32"E	23.78'
L14	N54°47'33"E	6.00'
L15	N38°46'29"E	15.77'
L16	N89°02'32"W	22.29'
L17	N0°57'28"E	14.00'
L18	S89°02'32"E	2.00'



H-Scale 1" = 60'



LEGAL DESCRIPTION

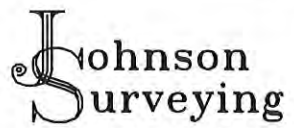
THE NORTH-SOUTH ALLEY IN BLOCK 6, THE EAST-WEST ALLEY IN BLOCK 6 AND A PORTION OF SIXTH STREET ADJOINING THE SOUTHERLY LINE OF BLOCK 6 OF THE PLAT OF SHANKS-BOYD ADDITION ACCORDING TO THE PLAT THEREOF RECORDED IN BOOK B OF PLATS, PAGE 62, RECORDS OF KOOTENAI COUNTY, IDAHO; LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 50 NORTH, RANGE 5 WEST, BOISE MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 1 OF SAID BLOCK 6; THENCE NORTH 89°02'32" WEST 20.00 FEET TO THE NORTHEAST CORNER OF LOT 21 OF SAID BLOCK 6; THENCE SOUTH 00°57'28" WEST 125.00 FEET TO THE SOUTHEAST CORNER OF LOT 21 OF SAID BLOCK 6; THENCE NORTH 89°02'32" WEST 180.00 FEET TO THE SOUTHWEST CORNER OF LOT 16 OF SAID BLOCK 6; THENCE SOUTH 00°57'28" WEST 20.00 FEET TO THE NORTHWEST CORNER OF LOT 15 OF SAID BLOCK 6; THENCE SOUTH 89°02'32" EAST 180.00 FEET TO THE NORTHEAST CORNER OF LOT 10 OF SAID BLOCK 6; THENCE SOUTH 00°57'28" WEST 125.00 FEET TO THE SOUTHEAST CORNER OF LOT 10 OF SAID BLOCK 6; THENCE NORTH 89°02'32" WEST, ALONG THE EASTERLY EXTENDED SOUTH LINE OF LOT 10 OF SAID BLOCK 6, A DISTANCE OF 2.00 FEET; THENCE SOUTH 00°57'28" WEST 30.00 FEET; THENCE SOUTH 89°02'32" EAST 23.78 FEET, TO THE RIGHT OF WAY FENCE OF INTERSTATE 90; THENCE ALONG SAID RIGHT OF WAY LINE THE FOLLOWING COURSES AND DISTANCES: NORTH 54°47'33" EAST 6.00 FEET; THENCE NORTH 38°46'29" EAST 15.77 FEET; THENCE LEAVING SAID RIGHT OF WAY FENCE NORTH 89°02'32" WEST 22.29 FEET; THENCE NORTH 00°57'28" EAST 14.00 FEET TO A POINT ON THE WESTERLY EXTENDED SOUTH LINE OF LOT 9 OF SAID BLOCK 6; THENCE SOUTH 89°02'32" EAST 2.00 FEET TO THE SOUTHWEST CORNER OF LOT 9 OF SAID BLOCK 6; THENCE NORTH 00°57'28" EAST 270.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 9734 SQUARE FEET, MORE OR LESS.

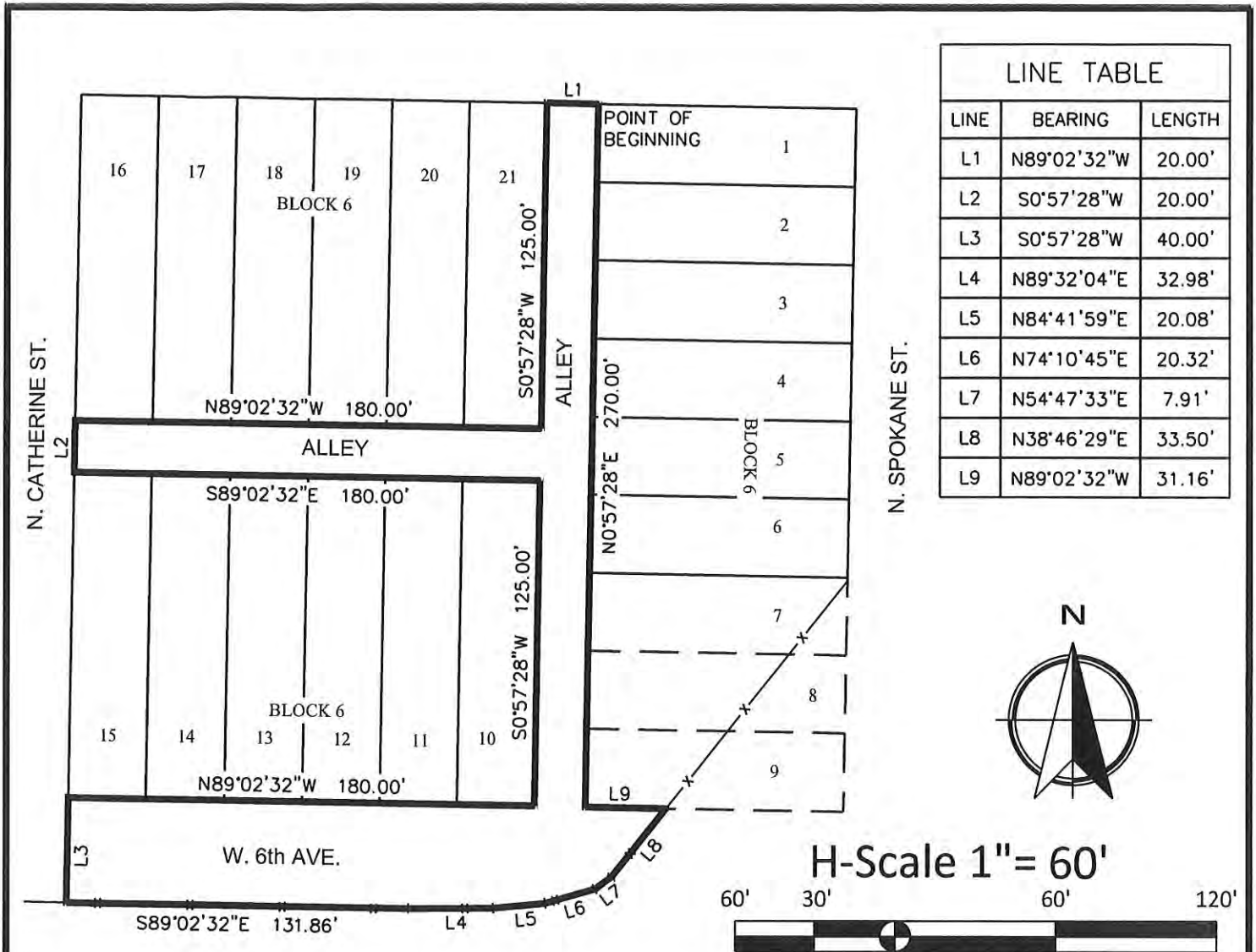
RETAINED EASEMENTS - EXHIBIT C

PORTIONS OF BLOCK 6, SHANKS-BOYD ADDITION
 NW 1/4, SEC. 3, T. 50 N., R. 5 W., BOISE MERIDIAN, KOOTENAI COUNTY, IDAHO



DATE SURVEYED: JAN. 2021	DRAFTED BY: DTL	PLOT DATE: 3/30/2021	SHEET 1 / 1
FILE NAME: 21-013 VACATION	CHECKED BY: CJJ	PROJECT No.: 21-013	

P.O. Box 2544 Post Falls, ID 83877
 208-660-2351
 johnsonsurveyingnw.com



LEGAL DESCRIPTION

THE NORTH-SOUTH ALLEY IN BLOCK 6, THE EAST-WEST ALLEY IN BLOCK 6 AND A PORTION OF SIXTH STREET ADJOINING THE SOUTHERLY LINE OF BLOCK 6 OF THE PLAT OF SHANKS-BOYD ADDITION ACCORDING TO THE PLAT THEREOF RECORDED IN BOOK B OF PLATS, PAGE 62, RECORDS OF KOOTENAI COUNTY, IDAHO; LOCATED IN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 50 NORTH, RANGE 5 WEST, BOISE MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 1 OF SAID BLOCK 6; THENCE NORTH 89°02'32" WEST 20.00 FEET TO THE NORTHEAST CORNER OF LOT 21 OF SAID BLOCK 6; THENCE SOUTH 00°57'28" WEST 125.00 FEET TO THE SOUTHEAST CORNER OF LOT 21 OF SAID BLOCK 6; THENCE NORTH 89°02'32" WEST 180.00 FEET TO THE SOUTHWEST CORNER OF LOT 16 OF SAID BLOCK 6; THENCE SOUTH 00°57'28" WEST 20.00 FEET TO THE NORTHWEST CORNER OF LOT 15 OF SAID BLOCK 6; THENCE SOUTH 89°02'32" EAST 180.00 FEET TO THE NORTHEAST CORNER OF LOT 10 OF SAID BLOCK 6; THENCE SOUTH 00°57'28" WEST 125.00 FEET TO THE SOUTHEAST CORNER OF LOT 10 OF SAID BLOCK 6; THENCE NORTH 89°02'32" WEST 180.00 FEET TO THE SOUTHWEST CORNER OF LOT 15 OF SAID BLOCK 6; THENCE SOUTH 00°57'28" WEST, ALONG THE SOUTHERLY EXTENDED WEST LINE OF SAID BLOCK 6, A DISTANCE OF 40.00 FEET TO THE RIGHT OF WAY FENCE OF INTERSTATE 90; THENCE ALONG SAID RIGHT OF WAY LINE THE FOLLOWING COURSES AND DISTANCES: NORTH 89°32'04" EAST 32.98 FEET; THENCE NORTH 84°41'59" EAST 20.08 FEET; THENCE NORTH 74°10'45" EAST 20.32 FEET; THENCE NORTH 54°47'33" EAST 7.91 FEET; THENCE NORTH 38°46'29" EAST 33.50 FEET, TO THE SOUTH LINE OF LOT 9 OF SAID BLOCK 6; THENCE LEAVING SAID RIGHT OF WAY FENCE NORTH 89°02'32" WEST 31.16 FEET TO THE SOUTHWEST CORNER OF LOT 9 OF SAID BLOCK 6; THENCE NORTH 00°57'28" EAST 270.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 17458 SQUARE FEET, MORE OR LESS

RIGHT OF WAY VACATION - EXHIBIT A

PORTIONS OF BLOCK 6, SHANKS-BOYD ADDITION

NW 1/4, SEC. 3, T. 50 N., R. 5 W., BOISE MERIDIAN, KOOTENAI COUNTY, IDAHO

Johnson
Surveying

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208-660-2351
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DATE SURVEYED: JAN. 2021

DRAFTED BY: DTL

PLOT DATE: 3/30/2021

SHEET

FILE NAME: 21-013 VACATION

CHECKED BY: CJJ

PROJECT No.: 21-013

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