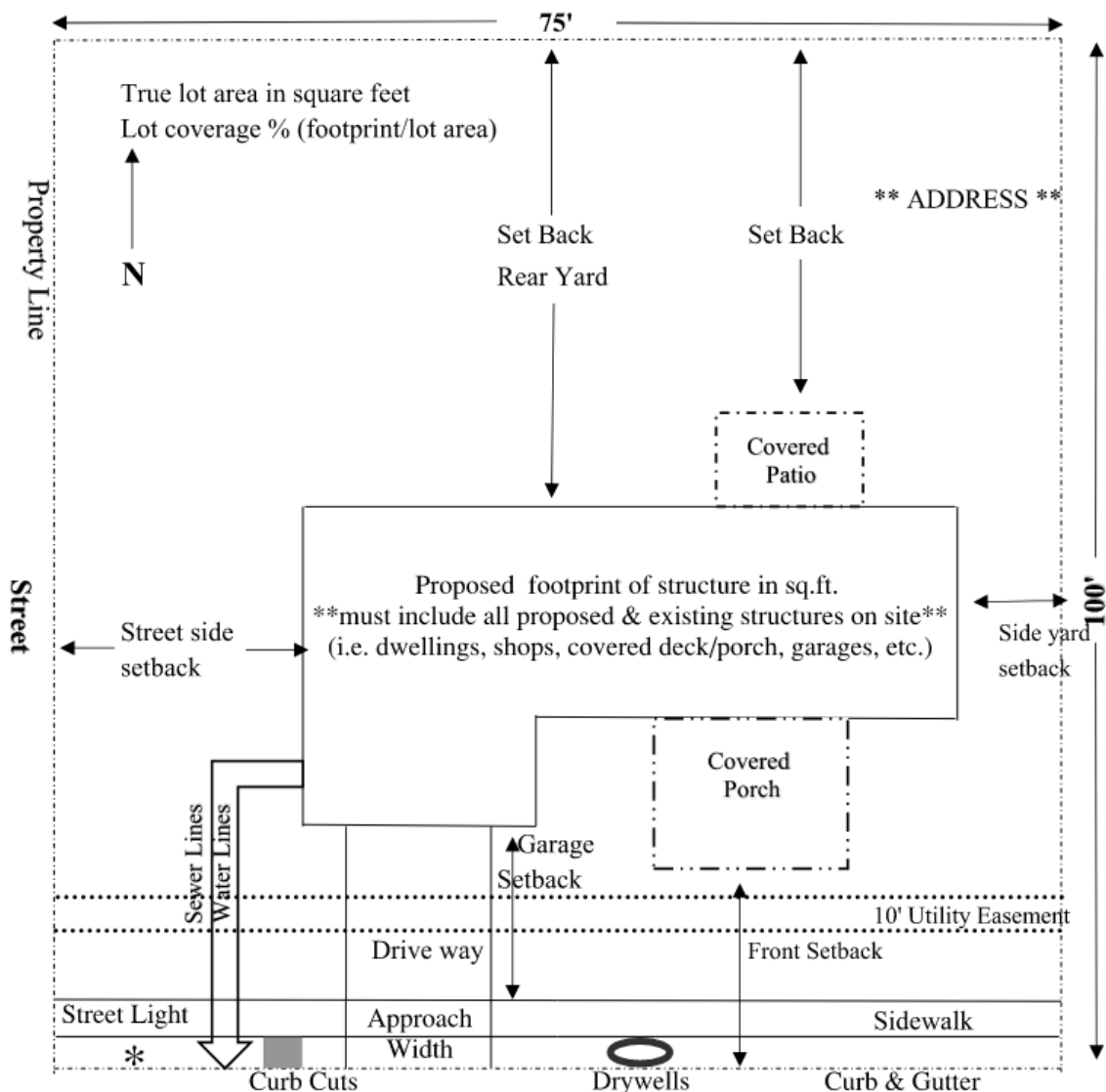


**Community Development Department**

408 N. Spokane St. Post Falls, ID 83854

- Site address and/or parcel number
- Street name(s)
- Property dimensions and North arrow
- Property square footage
- Easements (utility, border, or access)
- Footprint of proposed structures & existing structures (in square feet)  
**\*\*Please label all existing and proposed structures\*\***
- Setbacks from proposed structure wall to property lines
- Setbacks from proposed structure eave line to property lines
- See city code section 12.12.060 for required driveway approach width
- Setbacks from the garage front to the back of the sidewalk or the property line (whichever is closest)
- All site plans will be required to show all improvements that are within City ROW's and Easements (utility peds, curb cuts, drywells, curb, streetlights)

**Setbacks shall be measured from a property line to the foundation, face of a covered porch or stairway, or other weight bearing portion of the structure, whichever is closest to the property line.**



**\*\*SEE TABLE 18.20.040 FOR FULL SETBACK REQUIREMENTS (ON BACK)\*\***



**Table 18.20.040: Official Bulk and Placement Regulations**

District	Max Height and Min Setbacks (ft.)					Min Lot Width (ft.)	Max Lot Coverage (%)	Min Lot Area/d.u. (sq.ft.)
	Height	Front	Rear	Interior Side	Street Side			
R-1-S	35	30	15	15	30	135	25	1 acre
R-1	35	15	10	5	15	60	40	6,500
R-2 (SF)	35	15	10	5	15	30	70	4,000
R-2 (DPX)	35	15	10	5	15	50	50	3,600
R-2 (TH)	35	15	20	0-5	15	25	70	2,400
R-3 (DPX)	35	15	10	5	15	50	50	3,600
R-3 (other MF)	45	15	10	10	15	50	50	2,400
R-3 (TH)	45	15	20	0-5	15	18	70	2,000
RMHP	1 Story	10	7.5	10	10	50	50	4,500
CCS	45	0	0	0	0	n/a	80	n/a
LC	35	0	n/a	0	n/a	n/a	30	n/a
I	50	15	10	0	15	n/a	50	n/a
HI	50	IBC	IBC	IBC	IBC	n/a	65	n/a

**NOTES:**

1. Definitions: See PFMC [18.12.010](#): DEFINITIONS and [18.16.010](#): ESTABLISHMENT OF ZONING DISTRICTS.
2. The *Front Yard* and *Side Yard* setback for to the front of garages is a minimum of twenty feet (20') measured from the front of the garage to the property line or the edge of the sidewalk nearest the *Structure* if the sidewalk has been constructed outside of the *Right-of-Way* (in an easement), whichever is closer to the garage.
3. *Twin Home* or *Townhome* projects shall provide a minimum of a five foot (5') interior *Side Yard* setback or utilize a common wall with a *Zero Lot Line*.
4. R2 (SF) - Vehicular access to *Lots* of forty-five feet (45') or less must be alley/rear loaded.
5. Height limitations do not apply to spires, belfries, cupolas, water tanks, ventilators, chimneys, or other appurtenances usually required to be placed above roof level and not intended for human occupancy; however, thirty-five feet (35') in residential zones (except in R3 [other MF]), forty-five feet (45') in R3 (other MF) and in commercial zones, and fifty feet (50') in industrial zones is the maximum height allowed without a *Special Use Permit*; city utility and public service *Structures* are exempt from height restrictions.
6. Current RMHP dimensions are for existing established residential *Mobile Home Parks*, not for new or proposed parks.
7. *Structures* cannot be placed in public easements.
8. *Heavy Industrial (HI)* setbacks are for existing zones and *Uses* only, not for new or proposed industrial *Uses*.
9. Setbacks shall be measured from a property line to the foundation, face of a covered porch or stairway, or other weight bearing portion of the *Structure*, whichever is closest to the property line.
10. Compliance with zoning setbacks and *Lot Coverage* shall not be required for fences, walls, signs, or *Accessory Structures* not requiring a building permit.
11. The *Lot Width* for a respective zone is the measurement considered for the front *Building Line*, including *Flag Lots*.
12. Residential *Structures* may extend an additional five feet (5') beyond the minimum fifteen foot (15') *Front Yard* setback for those improvements, such as an open porch, canopies, balconies, platforms, covered patios, and similar architectural projections attached to a *Structure*, that do not restrict visibility between pedestrians along the adjacent sidewalk and vehicles accessing or leaving a residence.
13. Open *Structures* such as porches, canopies, balconies, platforms, carports, covered patios, and similar architectural projections attached to a *Structure* shall not project into the required minimum side or *Rear Yard* setbacks. Roof overhangs may extend into the minimum *Side* or *Rear Yard* setback, such as the conditions set forth within the *International Building Code* are met.